

GENERAL NOTES

(SITE SPECIFIC)

REFER TO DETAIL SHEETS:

Q-TYP-ASPI-01	FACADE DETAIL - ASPIRE SINGLE STOREY
QS-TYP-MISC-04	FLASHING DETAILS
QS-TYP-GARA-01	BRICK VENEER GARAGE DETAIL
QS-TYP-GARA-03	GARAGE DOOR REBATE
QS-TYP-WIND-05a	SUMMARY - INFILL ABOVE WINDOWS AND DOORS
QS-TYP-WET-11	TILE TRIM
S-TYP-WET-11	WET AREA DOORWAY WATERSTOP
QS-TYP-MISC-05	TIMBER POST CONNECTION TO CONCRETE

NSW BASIX REQUIREMENTS (BUILDING AND SUSTAINABILITY INDEX)

SINGLE WATER SUPPLY AREA:

- INSTALL RAINWATER TANK WHICH COLLECTS ROOF WATER AS NOMINATED ON THE APPLICABLE BASIX CERT.
- PROVIDE MIN. 3 STAR TAPWARE & FIXTURES
- CONNECT RAINWATER TANK TO ALL W/C'S, COLD WASHING MACHINE TAP & MINIMUM (1) EXTERNAL TAP.

OR

DUAL WATER SUPPLY AREA :

DUAL WATER RETICULATION SUPPLY MUST CONNECT TO :

- AT LEAST ONE EXTERNAL TAP
- ALL W/C'S
- COLD WATER WASHING TAP

POTABLE WATER RETICULATION SUPPLY MUST CONNECT TO ONE EXTERNAL TAP, BEING THE CLOSEST TAP TO ANY FUTURE SWIMMING POOL.

THERE IS TO BE NO CONNECTION OF POTABLE SUPPLY TO W/C'S OR COLD WATER WASHING MACHINE TAP.

BUSHFIRE HAZARD REQUIREMENTS BAL 29

AS PER A.S.-3959 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

- PROVIDE BAL COMPLIANT SCREENS WITH A MAXIMUM APERTURE SIZE OF 2.0MM TO ALL OPENING WINDOWS AND EXTERNAL HINGED DOORS IN ACCORDANCE WITH A.S. 3959 CLAUSE 7.5.1A
- PROVIDE SARKING UNDER ROOF TILES, ANTICON UNDER SHEET ROOFING.
- PROVIDE SPARK GUARDS WITH A MAXIMUM APERTURE SIZE OF 2.0MM TO ALL WEEP HOLES, ROOF & EAVE VENTS.
- PROVIDE DOOR SEALS TO ALL EXTERNAL DOORS AND GARAGE SECTIONAL OVERHEAD DOOR.
- PROVIDE FIRE RESISTANT CLADDING & TIMBER TO ALL EXPOSED LOCATION (WHERE APPLICABLE).
- PROVIDE TOUGHENED GLASS TO ALL DOORS AND WINDOWS (WHERE APPLICABLE).

REVISION TABLE

REV	DATE	COMMENT	DR	CH
1	08.09.23	DRAFT PLANS	PG8	S3D
2	05.10.23	CTP	JWJ	
3	01.12.23	AMD CTP - SITE PLAN	A0A	
4	08.12.23	AMD CTP - HSTP	M12	
5	12.12.23	AMD - GF ROTATION	8JJ	
6	19.12.23	FC PLANS	3LB	
7	18.01.24	HSTP PLOTTED	8JJ	
8	01.02.24	RFI	8JJ	
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STANDARD NOTES:

AS PER NCC 2022

GENERAL

- REFER TO ALL ASSOCIATED ENGINEERING DRAWINGS FOR DESIGN AND CONSTRUCTION REQUIREMENTS OF STRUCTURAL, SLAB & HYDRAULIC ELEMENTS (where applicable).
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- INTERNAL ELEVATION DIMENSIONS ARE TO PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.

FRAMING

- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS 1684-2021.2 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS & LAYOUTS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQ. TO BE AS PER ENGINEERS DETAIL
- SPECIFIED EAVE WIDTH, MEASURED FROM FACE OF BRICK (UNO).
- PROVIDE 2No. JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL S-TYP-DOOR-01.
- ENSURE RETURN AIR GRILLE & AC VOIDS ARE CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.

CEILING/WALL - GENERAL

- PROVIDE PLASTER LINED CEILINGS TO ALL AREAS (UNO).
- SOFFITS 4.5mm FC SHEET (UNO).
- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN' LAP TO ALL JOINS WITH CONTINUOUS SILICON SEAL BETWEEN & 50mm MIN' VERTICAL OVERHANG.)
- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5
- WATERPROOFING FOR EXTERNAL ABOVE GROUND USE TO COMPLY WITH AS 4654.1-2012 & AS 4654.2-2012.

STEPS/STAIRS & BALUSTRADES

- ALL STEPS MUST COMPLY WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.2
- BARRIERS & HANDRAILS MUST COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3
- BALUSTRADE IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.3 TO BE INSTALLED WHERE VOIDS, OR INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND/FLOOR LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.4 & AS 4586-2013.
- STAIRS ARE INDICATIVE ONLY. REFER TO DETAILS, SPECIFICATIONS & SELECTION DOCUMENTS.

WET AREAS

- WATERPROOFING OF WET AREAS TO COMPLY WITH NCC 2022 H4D2 HOUSING PROVISIONS 10.2
- WALL LINING TO WET AREAS TO BE APPROVED WET AREA BOARD (UNO).
- ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H4D5 HOUSING PROVISIONS 10.4.2

WINDOWS & DOORS

- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNO).
- SIZES NOMINATED AS A GENERIC CODE (UNO). FIRST 2 NUMBERS REFER TO HEIGHT & SECOND 2 RELATE TO WIDTH.
- EXTERNAL WINDOWS & DOORS TO COMPLY WITH NCC 2022 H6D1 HOUSING PROVISIONS 13.4.4.
- WINDOWS TO COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6.
- ALL GLAZING TO COMPLY WITH AS 1288-2021 & AS 2047-2014, & WITH AS 4055-2021 FOR WIND LOADING (UNO).
- WINDOWS SHALL BE PROTECTED IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & 11.3.8
- WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS (UNO).
- PROVIDE LIGHTWEIGHT CLADDING ABOVE ALL CORNER WINDOWS & CORNER DOORS (UNO).
- SAFETY GLAZING IN HUMAN IMPACT AREAS INCLUDING ADJACENT TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6

ENERGY EFFICIENCY NOTES

NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, BASED ON SPECIFIC SITING. REFER TO SPECIFICATION & CONTRACT DOCUMENTATION.

- PROVIDE BULK CEILING INSULATION & EXTERNAL WALL INSULATION AS PER STD SPECIFICATIONS (UNO).
- PROVIDE WEATHER STRIPPING TO WINDOWS & ALL EXTERNAL HINGED DOORS.
- PROVIDE DRAFT PREVENTION TO EXHAUST FANS, AS PER RELEVANT BUILDING CODES.
- SEALED GAPS AROUND WINDOWS & EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 H1D7 HOUSING PROVISIONS 7.5.6 & AS/NZS 2904-1995.
- INSULATION OF SERVICES AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.2
- HEATING AND COOLING DUCTWORK AS PER NCC 2022 HOUSING PROVISIONS H6D2 13.7.4 & SEALING PER AS 4254-2021.
- ARTIFICIAL LIGHTING AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.6
- WHERE APPLICABLE, PROVIDE SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022 H2D5 HOUSING PROVISIONS 6.2.1 TO SUSPENDED TIMBER FLOORS.

MISCELLANEOUS

- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5.
- PLIABLE BUILDING MEMBRANES TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.1 & AS 4200.1-2017 & BE INSTALLED IN ACCORDANCE WITH AS 4200.2-2017.
- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, NCC 2022 & AS/NZS 3500.3-2021.
- PROVIDE MINIMUM 115mm SLOTTED GUTTERS WITH APPROVED OVERFLOW PROVISIONS AS REQUIRED.
- ALL EXHAUST FANS TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.2
- WHERE REQUIRED, BATHROOM AND SANITARY COMPARTMENT EXHAUST FANS TO ACHIEVE A MINIMUM FLOW RATE OF 25 L/s, & 40 L/s FOR A KITCHEN OR LAUNDRY.
- PROVIDE TERMITE MGT. SYSTEM AS PER AS 3660.1-2014.
- ALL SMOKE ALARMS TO COMPLY WITH AS 3786-2014, CONNECTED TO MAINS POWER, AND INTERCONNECTED WHERE APPLICABLE. INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022 H3D6 HOUSING PROVISIONS 9.5.4
- LOCATIONS OF ELECTRICAL COMPONENTS & VENTS SHOWN ARE INDICATIVE ONLY, AND MUST BE INSTALLED TO REQUIRED DISTANCES FROM WALL & CEILING JUNCTIONS.
- BUILDINGS IN BUSHFIRE PRONE AREAS TO COMPLY WITH AS 3959-2018.
- DWELLINGS WITHIN 1km OF A BAY/10km OF A SURF COAST MUST HAVE ALL STEEL & MORTAR IN ACCORDANCE WITH SECTION 5 OF AS 3700-2018.
- TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE FOOTINGS.

STEEL FRAMING REQUIREMENTS (WHERE APPLICABLE):

- STEEL FRAME & TRUSSES REQUIRING THE ISSUE OF A SIGNED COMPLIANCE CERTIFICATE FOR THE BUILDING DESIGN - FORM 15 UPON COMPLETION AND PRIOR TO FINAL CERTIFICATION
- STEEL FRAMES AND TRUSSES TO COMPLY WITH:
 - AS/NZS 1170.0-2002 STRUCTURAL DESIGN ACTIONS: PART 0: GENERAL PRINCIPLES
 - AS/NZS 1170.1-2002 STRUCTURAL DESIGN ACTIONS: PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS
 - AS/NZS 4600-2018 COLD-FORMED STEEL STRUCTURES
 - AS 4055-2021 WIND LOADS FOR HOUSING
 - AS 4100-2020 STEEL STRUCTURES CODE
 - AS 3623-1993 DOMESTIC METAL FRAMING
 - AS 3566.1-2002 SELF DRILLING SCREWS
 - NASH STANDARDS
- STEEL FRAMING SUPPLIER TO PROVIDE DESIGN, CONNECTORS AND FIXING HARDWARE FOR ALL STEEL TO STRUCTURAL TIMBER MEMBERS (UNO BY ENGINEER)

DESIGN: CLARA 15

FACADE: ASPIRE CEILING: 25, L

GARAGE: SINGLE

FREEDOM 

OWNER: A & J BEVAN & M LUDLOW
LOT 9 AINSWORTH ROAD
MONGOGARIE

JOB NO: 743489 MST VER: FEB 2022

PERMIT No: _____ DWS: N3

**CONSTRUCTION
PLANS**
DATE : 01.02.24 8JJ

SHEET:
1A of 13

COVER PAGE : NOTES

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MAIN HOUSE
G.L 86.250 AHD
CUT SITE
FILL SCRAPE
F.L 86.560 AHD
NOTE: PROVIDE ALL BATTERS AT MINIMUM 1:2 (UNO)

GRANNY FLAT
G.L 83.960 AHD
CUT SITE
FILL SCRAPE
F.L 84.270 AHD
NOTE: PROVIDE ALL BATTERS AT MINIMUM 1:2 (UNO)

SITE COVER RES A:0.035%
SITE COVER RES B:0.016%
SITE COVER COMBINE: 0.051%

COVENANT APPLICABLE: N/A

S.W.D. NOTES:
 STORMWATER DRAIN & DOWN PIPE LAYOUT SHOWN IS INDICATIVE ONLY. PROVIDE MINIMUM 90MM DIA U.P.V.C. STORMWATER DRAINS WITH MIN 1:100 FALL CONNECTED TO LEGAL POINT OF DISCHARGE. PROVIDE 100MM DIA 'SEWER' QUALITY U.P.V.C. DRAINS TO UNDERSIDE OF GARAGE CONCRETE SLAB. PROVIDE 300MM GROUND COVER TO ALL DRAINS. GRADE SOIL AWAY FROM PERIMETER OF BUILDING TO AVOID PONDING.

NOTES: EXCAVATION
 BUILDER TO EXCAVATE & SPREAD FILL OVER REMAINING BUILDING AREA TO LEVEL. LEVELS ARE APPROX. & MAY VARY TO SUIT SITE CONDITIONS (U.N.O)
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NOTE: HSTP BY CUSTOMER
 REFER TO SPECIFICATIONS FOR LOCATION OF PROPOSED HSTP SYSTEM & LAND APPLICATION AREA.

NOTE: NSW APPLICATION PROCESS
 DA (DEVELOPMENT APPLICATION)

NOTE: FLOOR SPACE RATIO RES A
 (F.S.R.) = 0.00025:1

NOTE: FLOOR SPACE RATIO RES B
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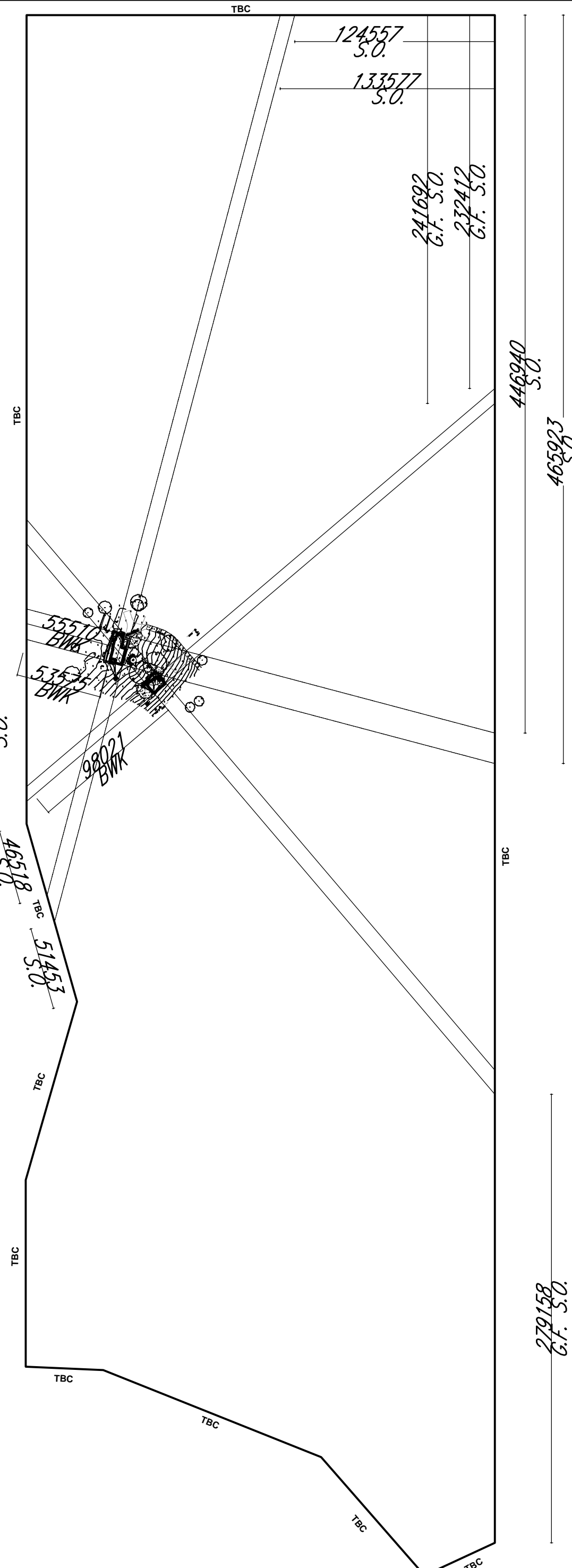
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OWNER: A. & J. BEVAN & M. LUDLOW
LOT 9 AINSWORTH ROAD
MONGOGARIE

JOB NO: 743489 | **MST VER: FEB 2022**

PERMIT No: _____ | **DWS: N3**

CONSTRUCTION PLANS
DATE: 01.02.24 8JJ | **SHEET: 1B of 13**



Contour & Feature Survey

Unit: 5/23 Overford Place, ACACIA RIDGE, Qld, 4110
 Ph (07) 3363 8100 www.axisurveys.com.au

LOT 9 on DP755625
#156 Ainsworth Road
Suburb Mongogarie
Local Auth Richmond Valley Council
Area 39.15 ha

metricon

NSW BSA No: 36854C QLD BSA No: 040992
 ACN: 053189496

Order No: 743489/706

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Refer to this link for more information
www.axisurveys.com.au/alertsanddisclaimers/

Issue	Date	Amendment	By
A	17/07/2023	Original Issue	9202

Site No: 2302879 Order No: X493943 Scale: 1:2500
 Height Datum: AHD
 Height Origin: GNSS
 Surveyed: LJ
 Date: 17/07/2023
 1 OF 2

MAIN HOUSE
G.L. 86.250 AHD
CUT SITE
FILL SCRAPE
F.L. 86.560 AHD
NOTE: PROVIDE ALL BATTERS AT MINIMUM 1:2 (UNO)

GRANNY FLAT
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SITE COVER RES B: 0.016%

SITE COVER COMBINE:
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COVENANT APPLICABLE:
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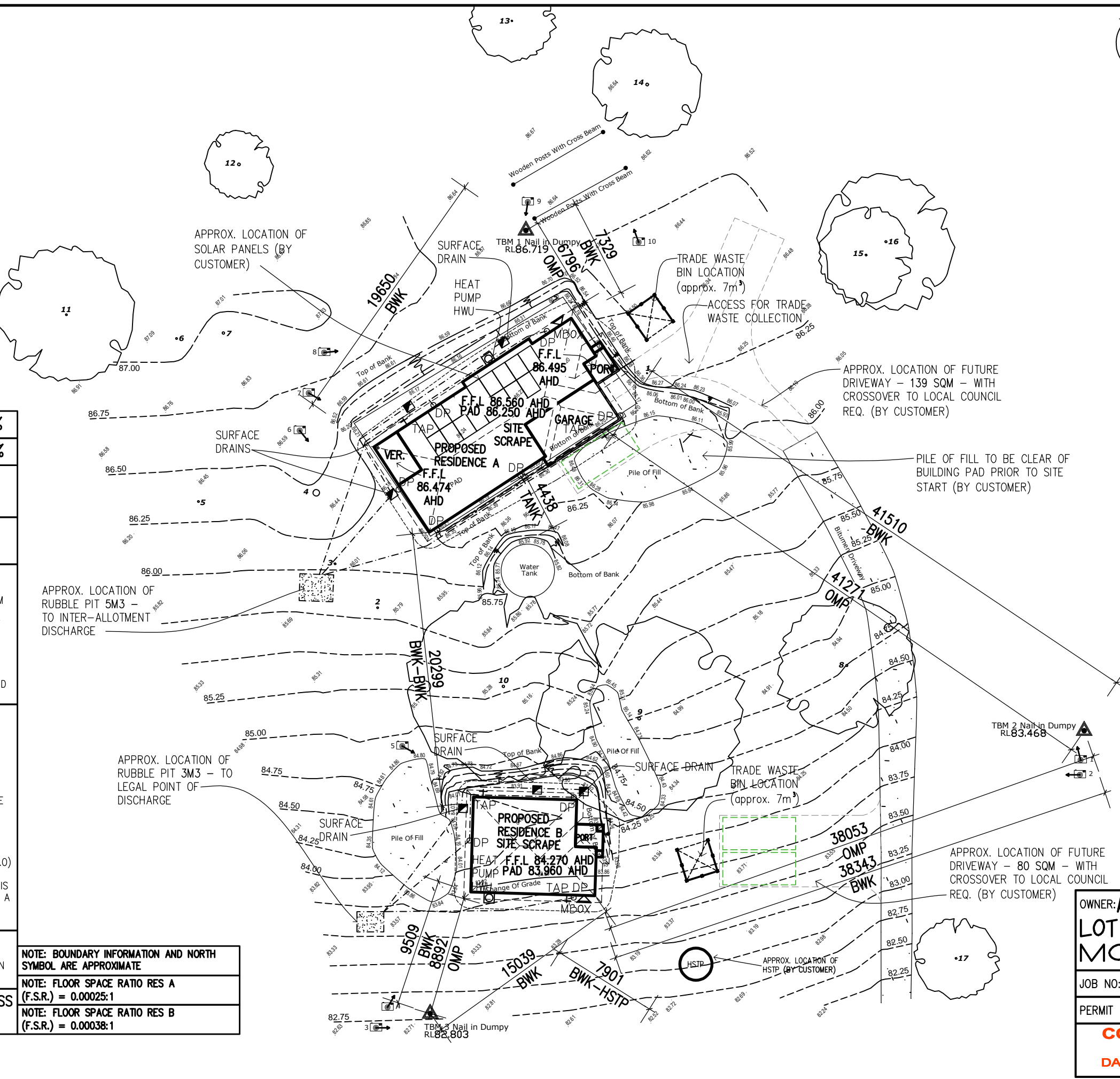
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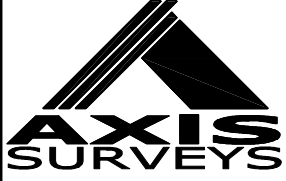
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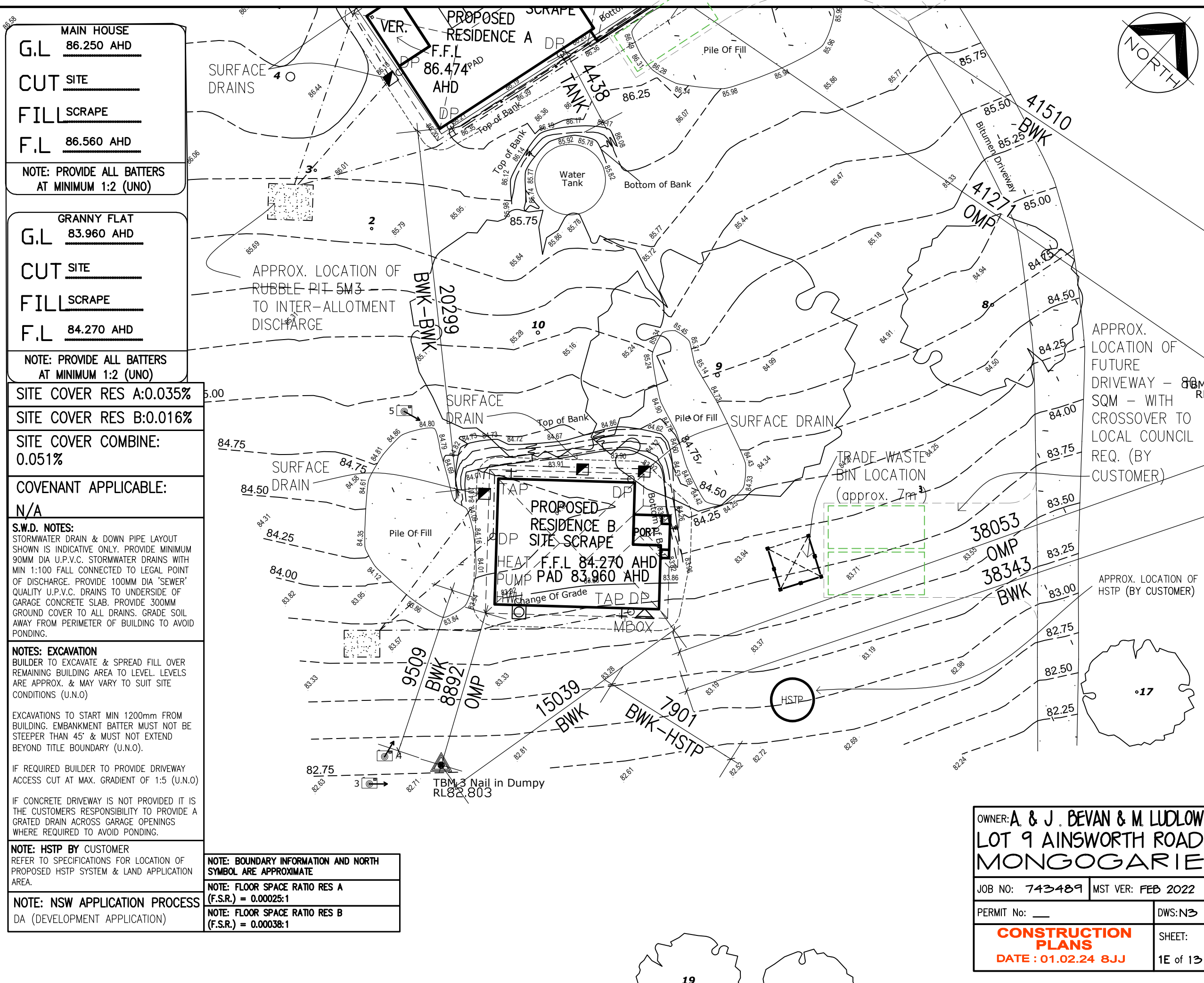
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Height Datum: AHD		1:300
Height Origin: GNSS		PAGE A2
Surveyed: LD		
Date: 17/07/2023		2 OF 4

OWNER: A. & J. BEVAN & M. LUDLOW
LOT 9 AINSWORTH ROAD
MONGOGARIE

JOB NO: 743489 MST VER: FEB 2022

PERMIT No: _____ DWS: N3

CONSTRUCTION PLANS
DATE: 01.02.24 8JJ
SHEET: 10 of 13



MAIN HOUSE
G.L 86.250 AHD
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FILL SCRAPE
F.L 86.560 AHD

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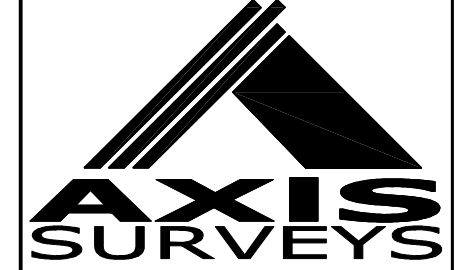
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Issue	Date	Amendment	By
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OWNER: A & J. BEVAN & M. LUDLOW
LOT 9 AINSWORTH ROAD
MONGOGARIE

JOB NO: 743489 MST VER: FEB 2022

PERMIT No: _____ DWS: N3

CONSTRUCTION PLANS
DATE: 01.02.24 8JJ

SHEET: 1E of 13

Site No: 2302879 Order No: X493943
 Height Datum: AHD
 Height Origin: GNSS
 Surveyed: LD
 Date: 13/07/2023
 Scale: 1:200
 PAGE A2
 4 OF 4

MAIN HOUSE
G.L 86.250 AHD
CUT SITE
FILL SCRAPE
F.L 86.560 AHD
 NOTE: PROVIDE ALL BATTERS AT MINIMUM 1:2 (UNO)

GRANNY FLAT
G.L 83.960 AHD
CUT SITE
FILL SCRAPE
F.L 84.270 AHD
 NOTE: PROVIDE ALL BATTERS AT MINIMUM 1:2 (UNO)

SITE COVER RES A:0.035%
 SITE COVER RES B:0.016%
 SITE COVER COMBINE: 0.051%

COVENANT APPLICABLE:
 N/A

S.W.D. NOTES:
 STORMWATER DRAIN & DOWN PIPE LAYOUT SHOWN IS INDICATIVE ONLY. PROVIDE MINIMUM 90MM DIA U.P.V.C. STORMWATER DRAINS WITH MIN 1:100 FALL CONNECTED TO LEGAL POINT OF DISCHARGE. PROVIDE 100MM DIA 'SEWER' QUALITY U.P.V.C. DRAINS TO UNDERSIDE OF GARAGE CONCRETE SLAB. PROVIDE 300MM GROUND COVER TO ALL DRAINS. GRADE SOIL AWAY FROM PERIMETER OF BUILDING TO AVOID PONDING.

NOTES: EXCAVATION
 BUILDER TO EXCAVATE & SPREAD FILL OVER REMAINING BUILDING AREA TO LEVEL. LEVELS ARE APPROX. & MAY VARY TO SUIT SITE CONDITIONS (U.N.O)

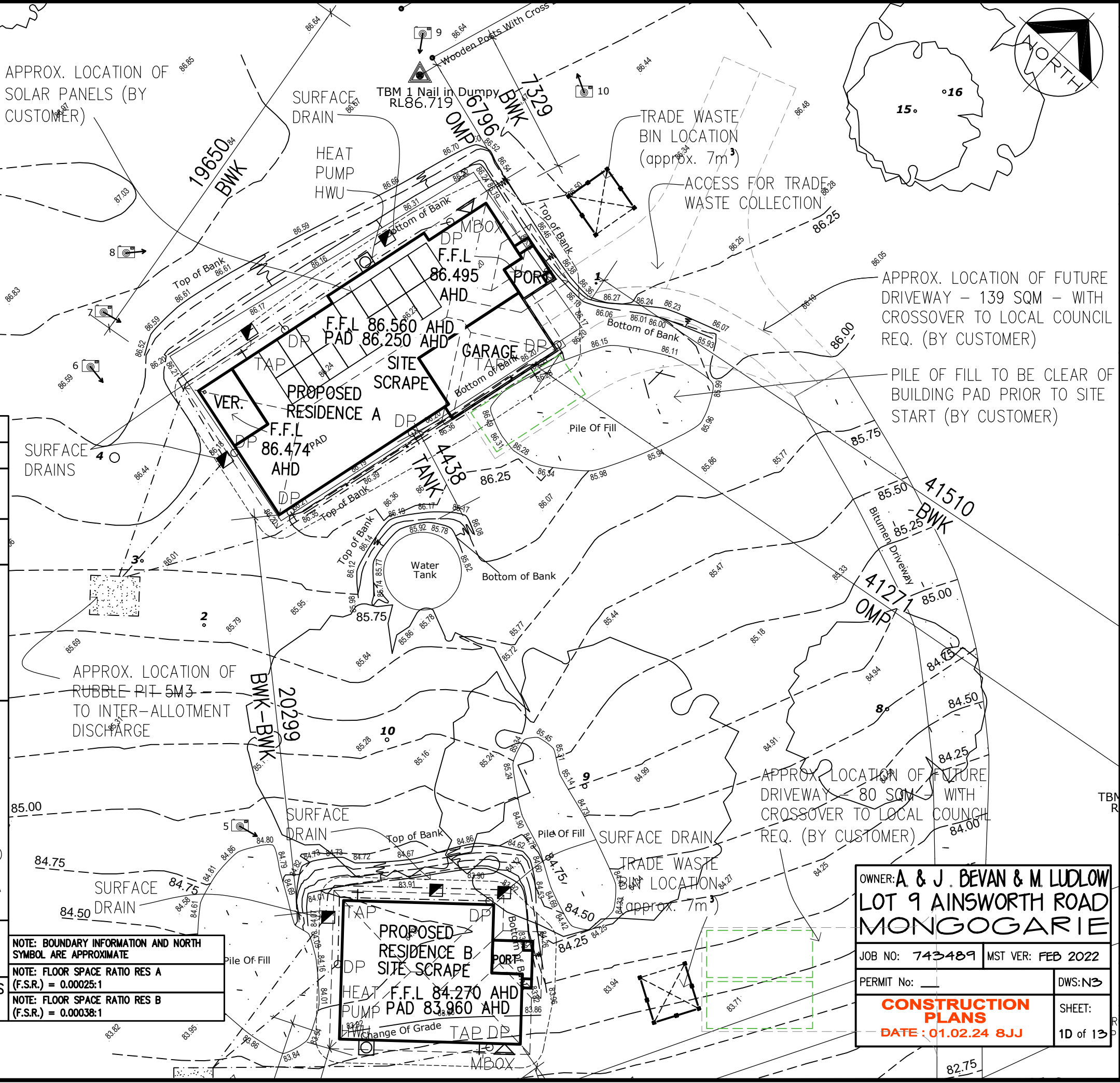
EXCAVATIONS TO START MIN 1200mm FROM BUILDING. EMBANKMENT BATTER MUST NOT BE STEEPER THAN 45° & MUST NOT EXTEND BEYOND TITLE BOUNDARY (U.N.O).

IF REQUIRED BUILDER TO PROVIDE DRIVEWAY ACCESS CUT AT MAX. GRADIENT OF 1:5 (U.N.O)

IF CONCRETE DRIVEWAY IS NOT PROVIDED IT IS THE CUSTOMERS RESPONSIBILITY TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS WHERE REQUIRED TO AVOID PONDING.

NOTE: HSTP BY CUSTOMER
 REFER TO SPECIFICATIONS FOR LOCATION OF PROPOSED HSTP SYSTEM & LAND APPLICATION AREA.

NOTE: NSW APPLICATION PROCESS
 DA (DEVELOPMENT APPLICATION)



NOTE: BOUNDARY INFORMATION AND NORTH SYMBOL ARE APPROXIMATE
NOTE: FLOOR SPACE RATIO RES A (F.S.R.) = 0.00025:1
NOTE: FLOOR SPACE RATIO RES B (F.S.R.) = 0.00038:1

OWNER: **A & J. BEVAN & M. LUDLOW**
LOT 9 AINSWORTH ROAD MONGOGARIE

JOB NO: 743489 MST VER: FEB 2022

PERMIT No: _____ DWS: N3

CONSTRUCTION PLANS
 DATE: 01.02.24 8JJ

SHEET: 1D of 13

Contour & Feature Survey ©

AXIS SURVEYS

Unit 5/23 Overlord Place, ACACIA RIDGE, Qld, 4110
 Ph (07) 3363 8100 www.axisurveys.com.au

LOT 9 on DP755625
 #156 Ainsworth Road
Suburb Mongogarie
Local Auth Richmond Valley Council
Area 39.15 ha

metricon

NSW BSA No: 36654C QLD BSA No: 040992
 ACN: 053189496

Order No: 743489/706

NOTES TO BE READ BEFORE USING THIS PLAN

This Plan has limitations regarding its use for some applications. Please contact this office if there is any doubt about the suitability of this plan for the intended use. These notes form part of this plan and they must remain with the plan or any copies. The limitations of this plan are detailed in the link below, with the main ones being:-

1. This plan has been prepared for our client & should not be used by others without approval.
2. The boundaries shown have been sourced from DoR documents or as noted, and have not been checked, unless a boundary identification survey has been completed by Axis Surveys.
3. Distances from features to the shown boundaries should not be used or relied upon.
4. If positional accuracy is critical a boundary identification survey may be required.
5. The certificate of title has not been searched and should be checked for any encumbrances.
6. The contours may not represent the local authority's definition of "Ground Level"
7. A flood search has not been carried out. Check with local council for min. and max. construction heights.
8. Non visible services (if shown), have been plotted from the relevant authority's records or from other sources and may not be accurate. Services should be exposed before design or construction commences.
9. The position of any subsurface structures have not been investigated.
10. The north point has been taken from the survey plan and may not be suitable for all uses.

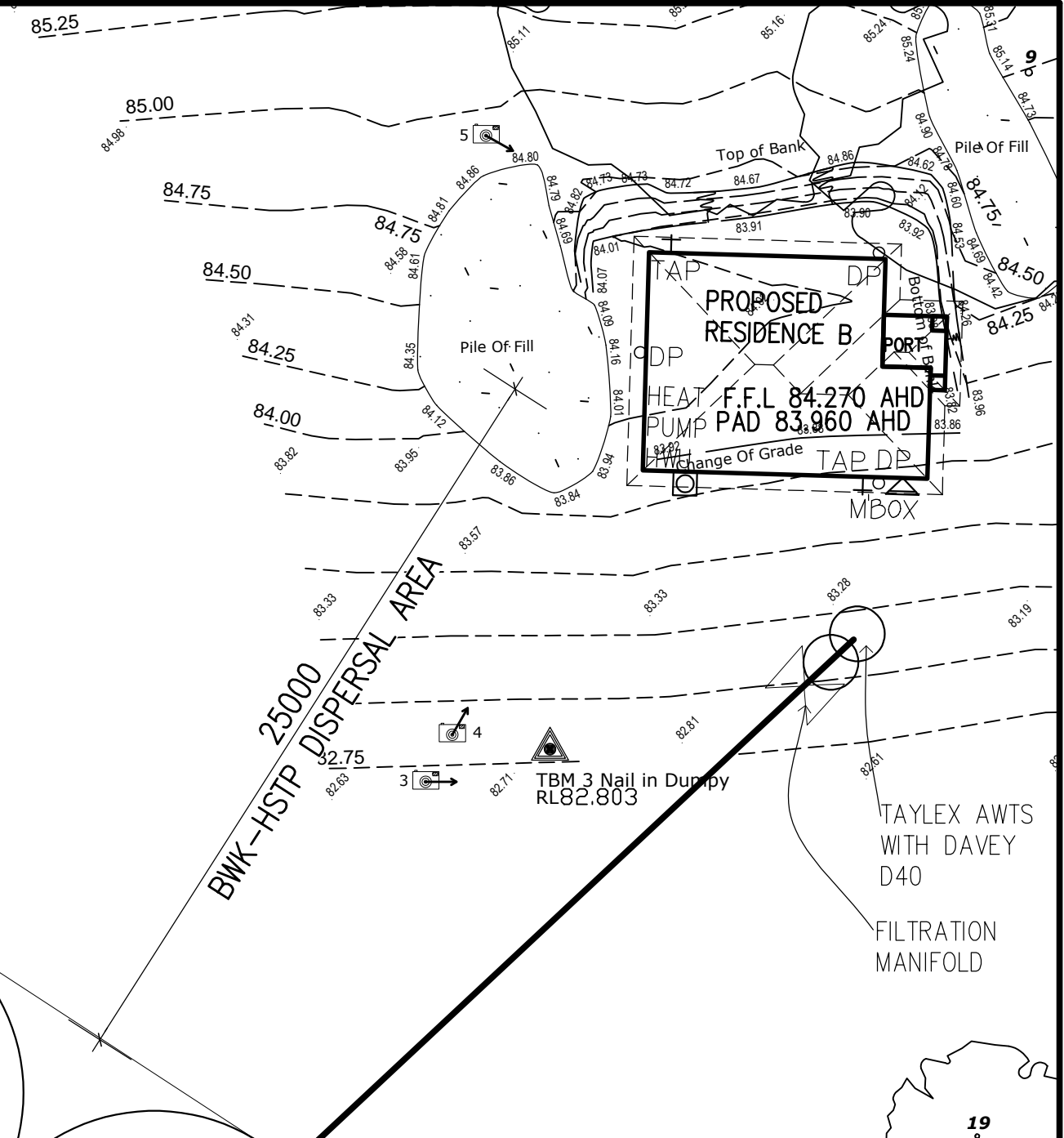
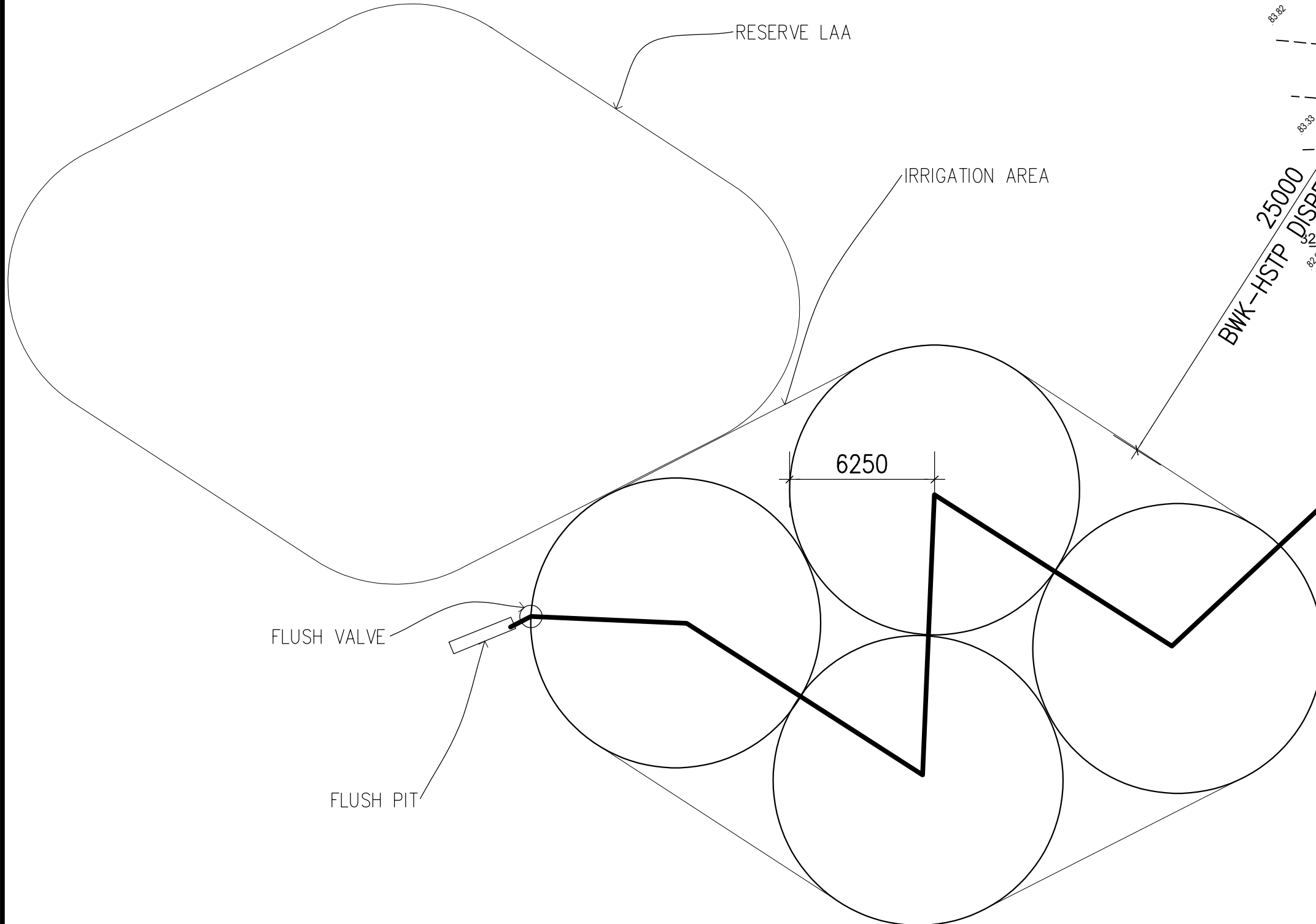
Refer to this link for more information www.axisurveys.com.au/alertsanddisclaimers/

Issue	Date	Amendment	By
A	17/07/2023	Original Issue	GEO2

Site No: 2302879 Order No: X493943 Scale: 1:200
 Height Datum: AHD
 Height Origin: GNSS
 Surveyed: LD
 Date: 17/07/2023

PAGE A2
 3 OF 4

HSTP LAYOUT AS PROVIDED
(BY CUSTOMER)



metricon

NSW BSA No: 36654C QLD BSA No: 040992
ACN: 053189496

NOTE: HSTP BY CUSTOMER
REFER TO SPECIFICATIONS FOR LOCATION OF
PROPOSED HSTP SYSTEM & LAND APPLICATION
AREA.

Scale:
1:200

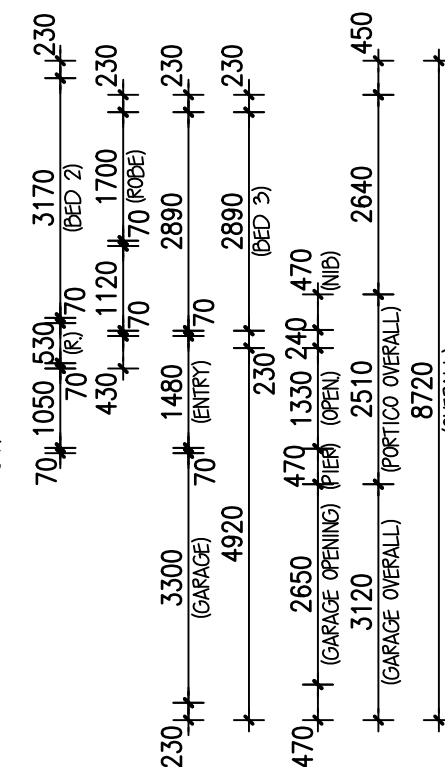
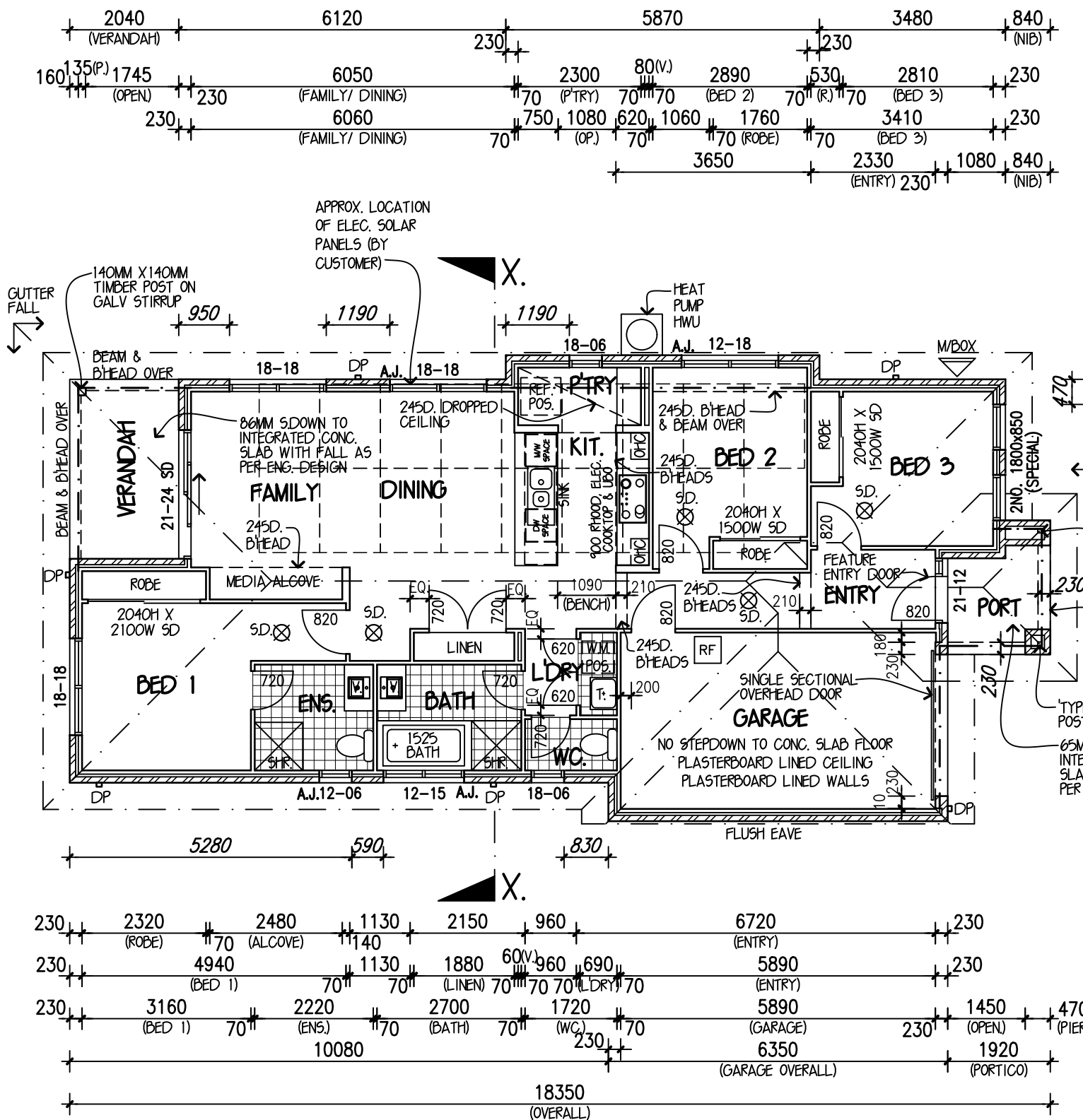
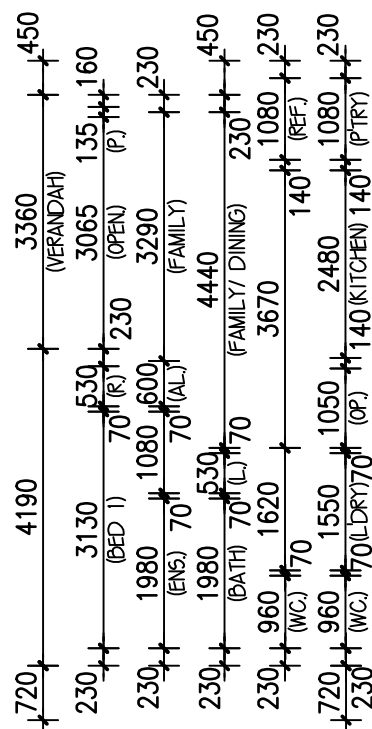
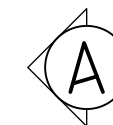
OWNER: **A. & J. BEVAN & M. LUDLOW**
LOT 9 AINSWORTH ROAD
MONGOGARIE

JOB NO: **743489** | MST VER: **FEB 2022**

PERMIT No: **---** | DWS: **N3**

CONSTRUCTION PLANS
DATE: **18.01.24 8JJ** | SHEET:
1F of 13

NOTE:
450mm eave UNO.



FLOOR PLAN 1:100

- NOTE: REFER TO COVER PAGE NOTE FOR NSW BASIX REQUIREMENTS.
- NOTE: PROVIDE BUSHFIRE HAZARD REQUIREMENTS
- NOTE: 70MM STEEL FRAME & TRUSSES
- NOTE: SOLAR POWER SYSTEM (BY CUSTOMER)

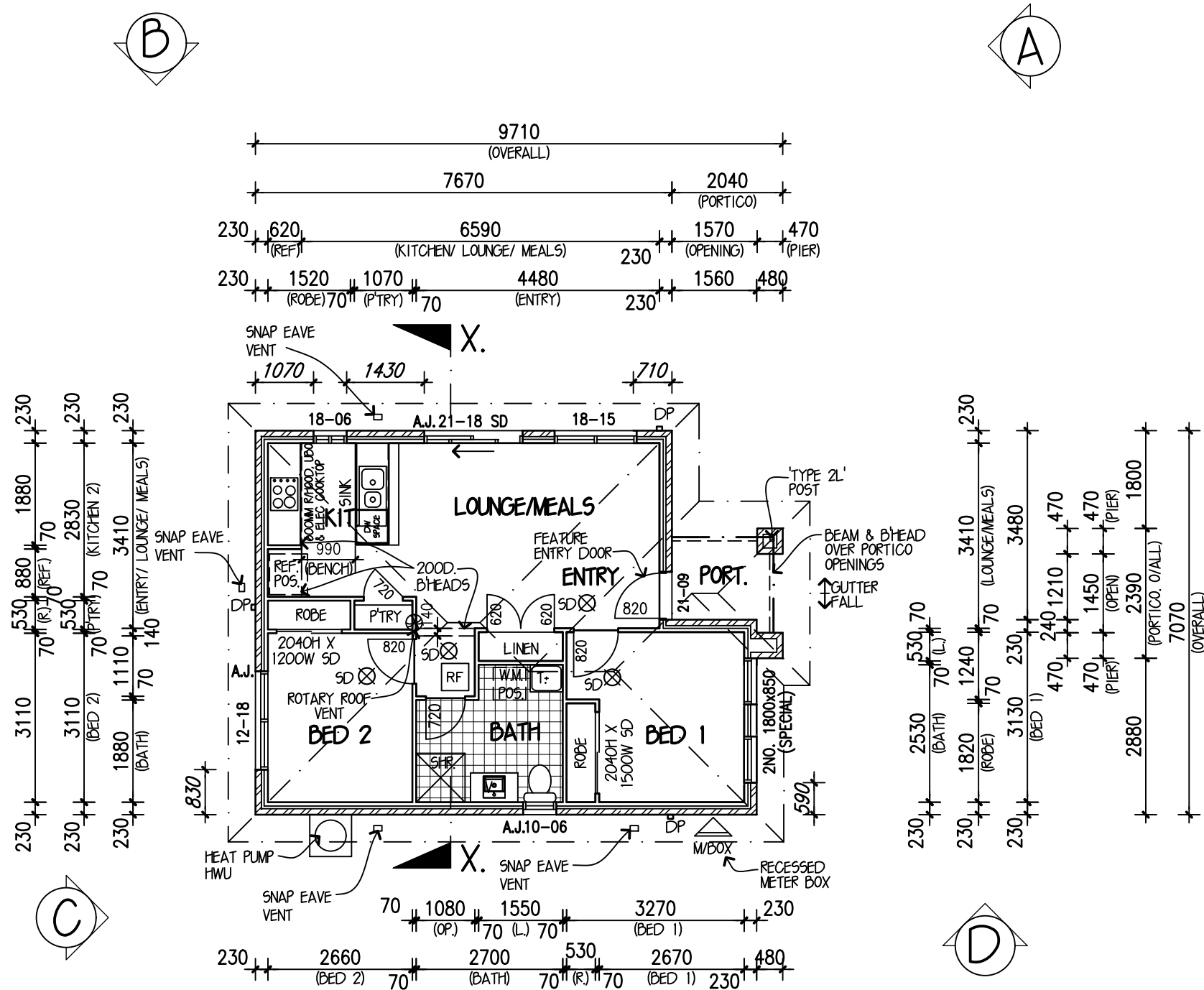
AREAS:	GARAGE:	21.77 SQM
GRD FLR:	VERANDAH:	6.85 SQM
	PORTICO:	4.05 SQM
SUBTOTAL:	TOTAL:	138.92 SQM
		14.95 SQM

DESIGN: **CLARA 15**
 FACADE: **ASPIRE** CEILING: **25, L**
 GARAGE: **SINGLE**
FLOOR PLAN
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LOT 9 AINSWORTH ROAD MONGOGARIE
 JOB NO: **743489** MST VER: **FEB 2022**
 PERMIT No: **---** DWS: **N3**
CONSTRUCTION PLANS
 DATE: **19.12.23 3LB** SHEET: **2 of 13**

NOTE:
450mm eave UNO.



GRANNY FLAT FLOOR PLAN 1:100

NOTE:
REFER TO COVER PAGE NOTE FOR NSW BASIX REQUIREMENTS.

NOTE: PROVIDE BUSHFIRE HAZARD REQUIREMENTS

NOTE: 70MM STEEL FRAME & TRUSSES

AREAS:			
GRD FLR:	5983 SQM	PORTICO:	3.77 SQM
SUBTOTAL:	5983 SQM	TOTAL:	63.60 SQM
	6.44 SQM		6.85 SQM

DESIGN: **RETREAT 6**

FAÇADE: **ASPIRE** CEILING: **24**

GARAGE: **SINGLE**

FLOOR PLAN

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OWNER: **A. & J. BEVAN & M. LUDLOW**
LOT 9 AINSWORTH ROAD
MONGOGARIE

JOB NO: **743489** MST VER: **FEB 2022**

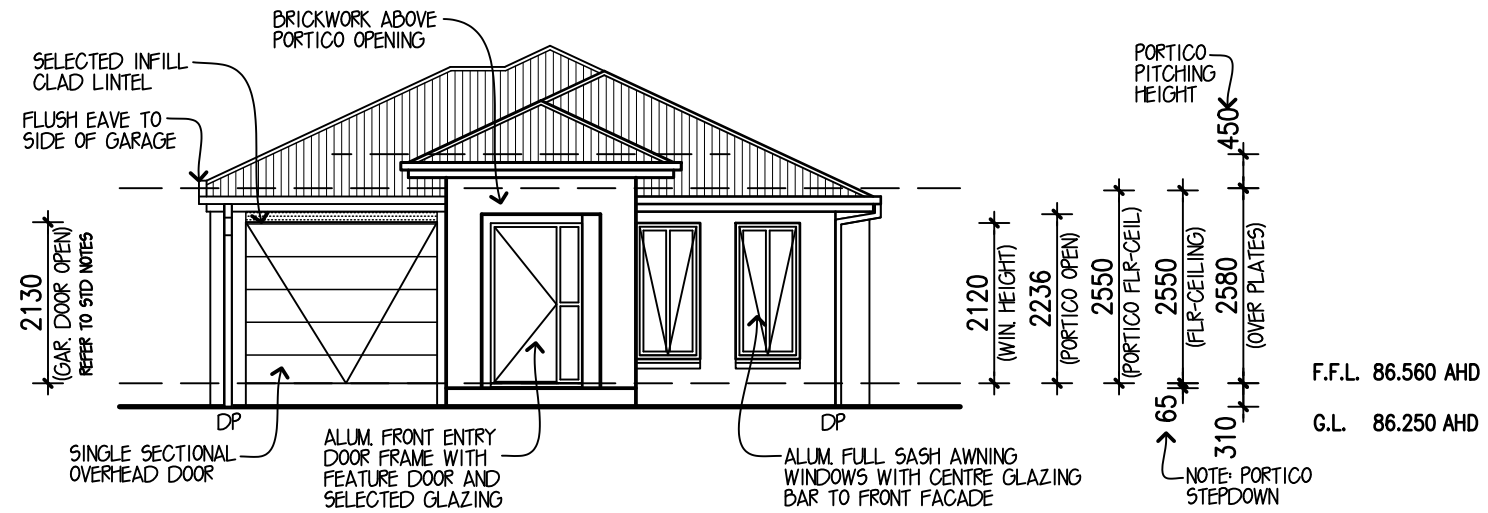
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CONSTRUCTION PLANS
DATE: **19.12.23 3LB** SHEET: **3 of 13**

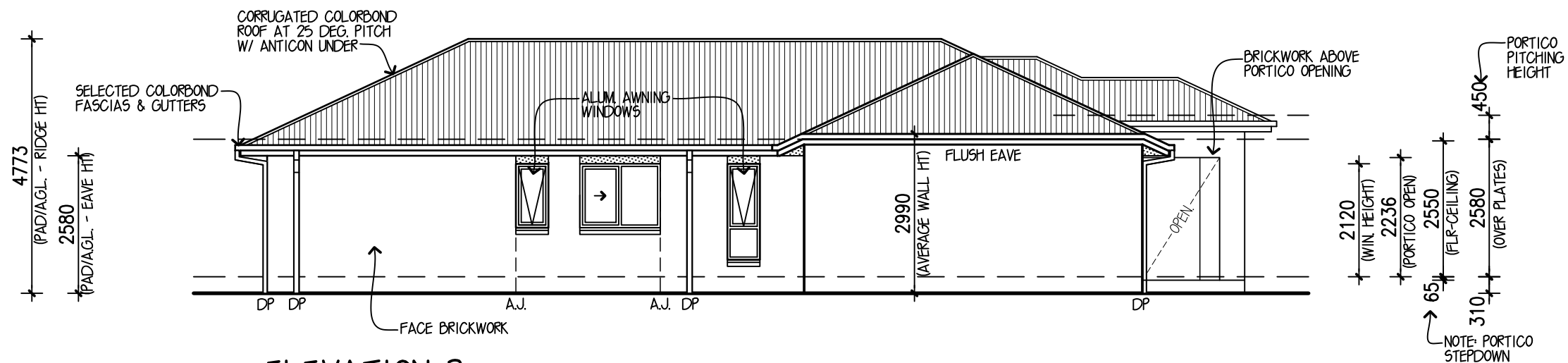
IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. Q-TYP-ASPI-01

NOTE:
450mm eave UNO.

NOTE: PROVIDE BRICKWORK
ABOVE FRONT ENTRY DOOR
(U.N.O)



ELEVATION A.



ELEVATION B.

ELEVATIONS 1:100

NOTE:
REFER TO COVER PAGE NOTE FOR NSW BASIX
REQUIREMENTS.

NOTE: PROVIDE BUSHFIRE HAZARD REQUIREMENTS

NOTE: 70MM STEEL FRAME & TRUSSES

NOTE:
PROVIDE SELECTED SCREENS TO ALL OPENABLE
WINDOWS AND EXTERNAL DOORS

DESIGN: **CLARA 15**
FACADE: **ASPIRE** CEILING: **25, L**
GARAGE: **SINGLE**



OWNER: **A. & J. BEVAN & M. LUDLOW**
LOT 9 AINSWORTH ROAD
MONGOGARIE

ELEVATIONS

BY METRICON

JOB NO: **743489** MST VER: **FEB 2022**

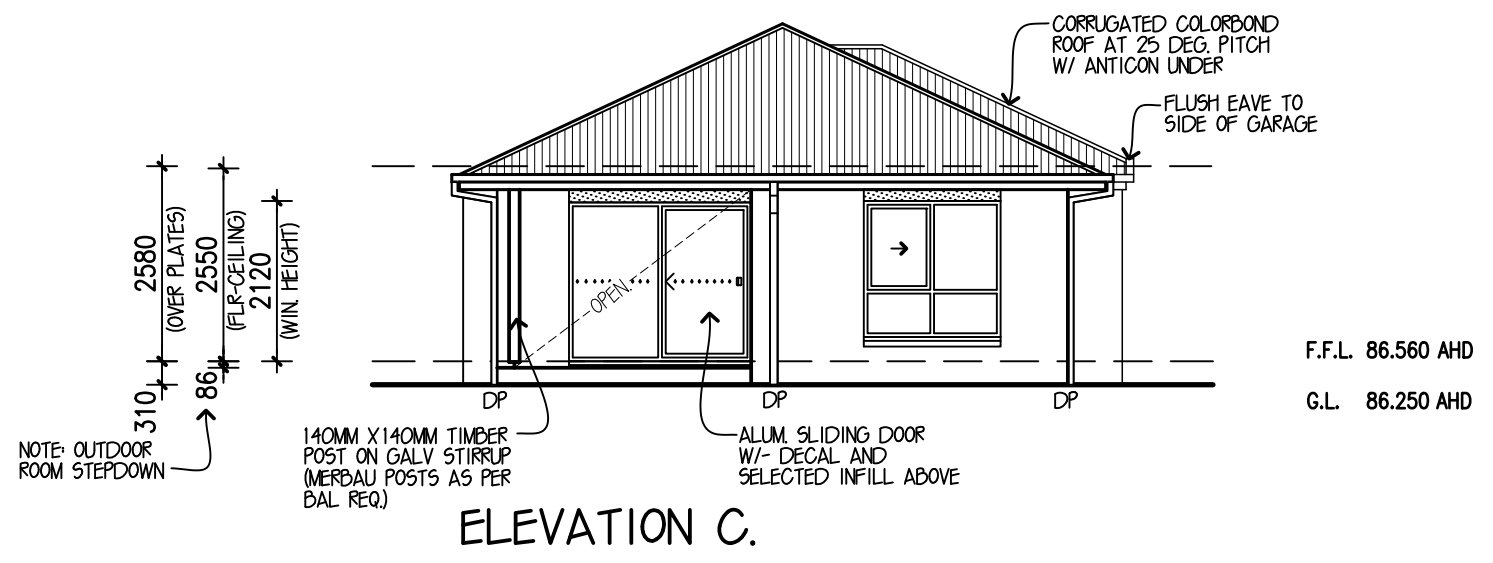
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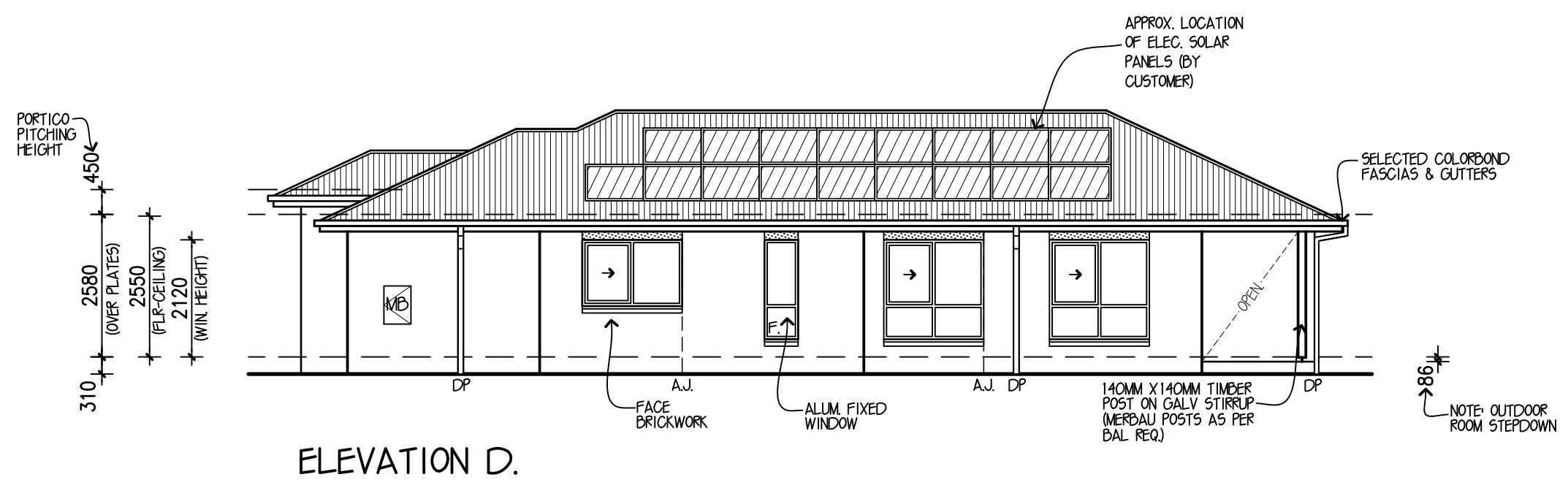
CONSTRUCTION PLANS
DATE: **19.12.23 3LB**

SHEET:
4 of 13

NOTE:
450mm eave UNO.



ELEVATION C.

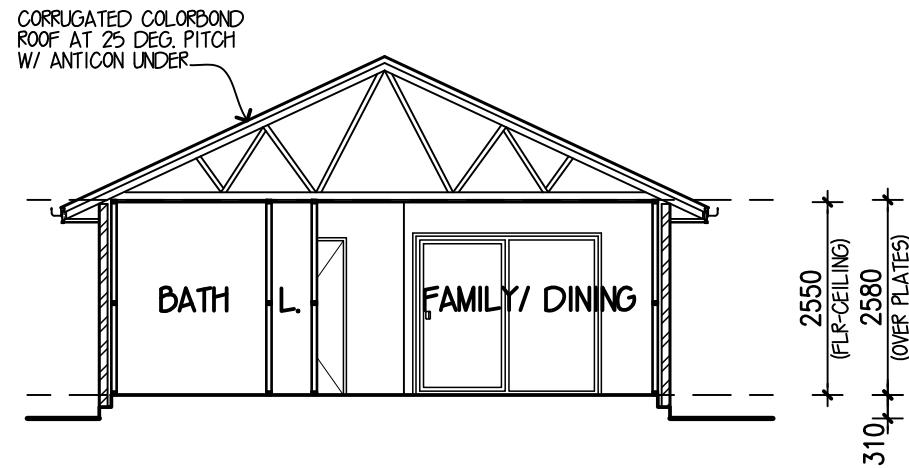


ELEVATION D.

ELEVATIONS 1:100

<p>NOTE: REFER TO COVER PAGE NOTE FOR NSW BASIX REQUIREMENTS.</p> <p>NOTE: PROVIDE BUSHFIRE HAZARD REQUIREMENTS</p> <p>NOTE: 70MM STEEL FRAME & TRUSSES</p> <p>NOTE: PROVIDE SELECTED SCREENS TO ALL OPENABLE WINDOWS AND EXTERNAL DOORS</p>	<p>DESIGN: CLARA 15</p> <p>FACADE: ASPIRE CEILING: 25, L</p> <p>GARAGE: SINGLE</p>	<p>FREEDOM m metricon</p>	<p>OWNER: A. & J. BEVAN & M. LUDLOW</p> <p>LOT 9 AINSWORTH ROAD</p> <p>MONGOGARIE</p>	
	<p>ELEVATIONS</p> <p>METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTION IS FORBIDDEN AND WILL BE PROSECUTED.</p>		<p>BY METRICON</p> <p>209 Robina Town Centre Drive, Robina, QLD 4226 Tel: 07 5501 7200 Fax: 07 5562 2194. Metricon Homes QLD Pty Ltd is licensed under the QBCC Act 1991 (QBCC Licence 40992), NSW Builders License 36654C. COPYRIGHT 2009 reproduction forbidden. Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.</p>	<p>JOB NO: 743489 MST VER: FEB 2022</p> <p>PERMIT No: --- DWS: N3</p>
	<p>5 of 13</p>		<p>5 of 13</p>	
	<p>Document Set ID: 1916749 Version: 1, Version Date: 04/04/2024</p>		<p>5 of 13</p>	

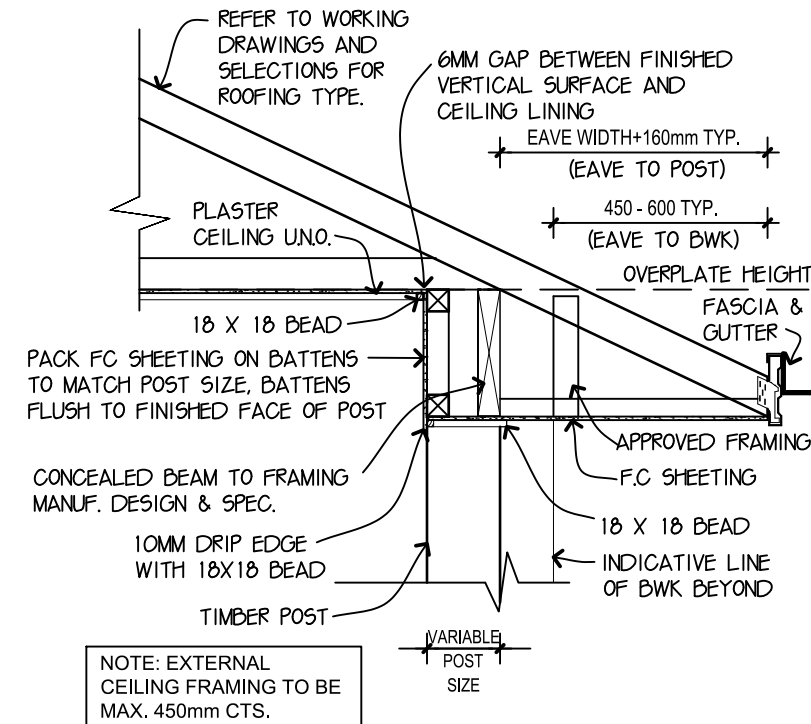
NOTE:
450mm eave UNO.



F.F.L. 86.560 AHD
 WAFFLE POD SLAB
 G.L. 86.250 AHD
 NOTE: REFER ENGINEER'S FOOTING DESIGN.

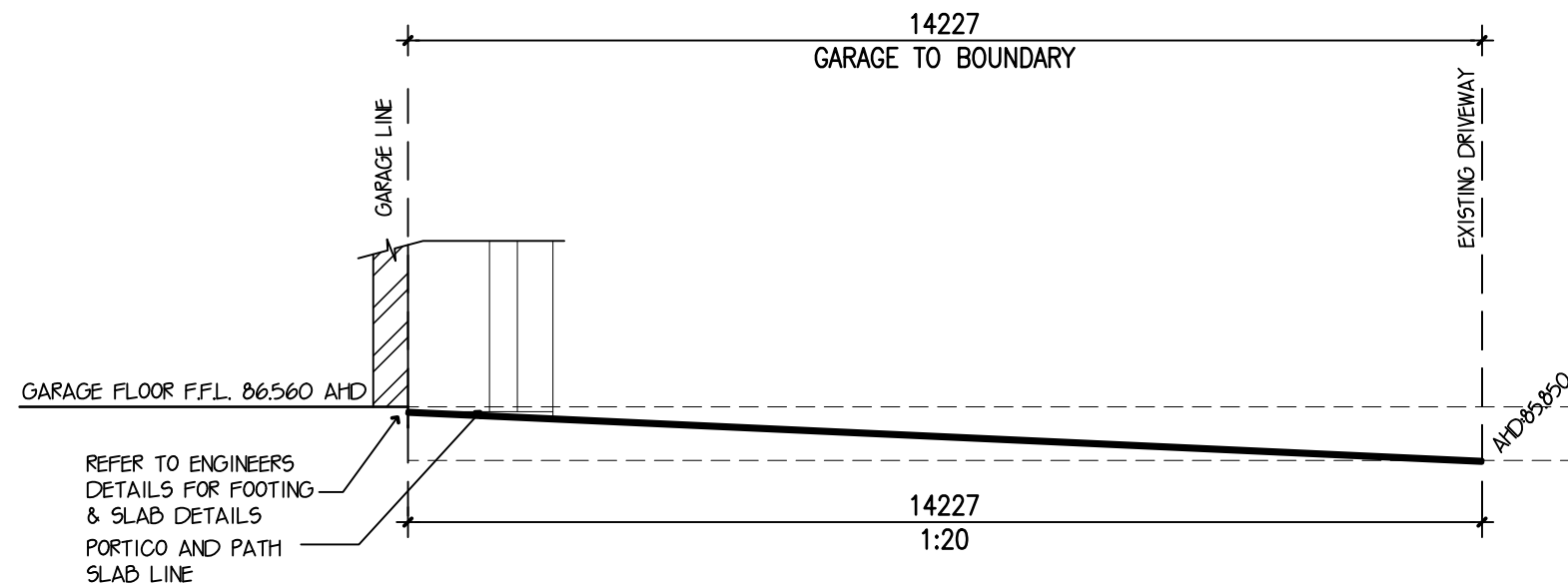
SOIL CLASSIFICATION 'S'
 REFER SOIL REPORT (REF. NO 232884)

SECTION X-X



NOTE: EXTERNAL CEILING FRAMING TO BE MAX. 450mm CTS.

TYPICAL EAVE DETAIL
 OUTDOOR ROOM - TIMBER POST
 CONCEALED BEAM
 N.T.S.



SECTION A-A 1:100
 DRIVEWAY & VEHICULAR CROSSING

SECTION 1:100

- NOTE: REFER TO COVER PAGE NOTE FOR NSW BASIX REQUIREMENTS.
- NOTE: PROVIDE BUSHFIRE HAZARD REQUIREMENTS
- NOTE: 70MM STEEL FRAME & TRUSSES

DESIGN: **CLARA 15**
 FACADE: **ASPIRE** CEILING: **25, L**
 GARAGE: **SINGLE**



OWNER: **A. & J. BEVAN & M. LUDLOW**
LOT 9 AINSWORTH ROAD
MONGOGARIE

SECTION

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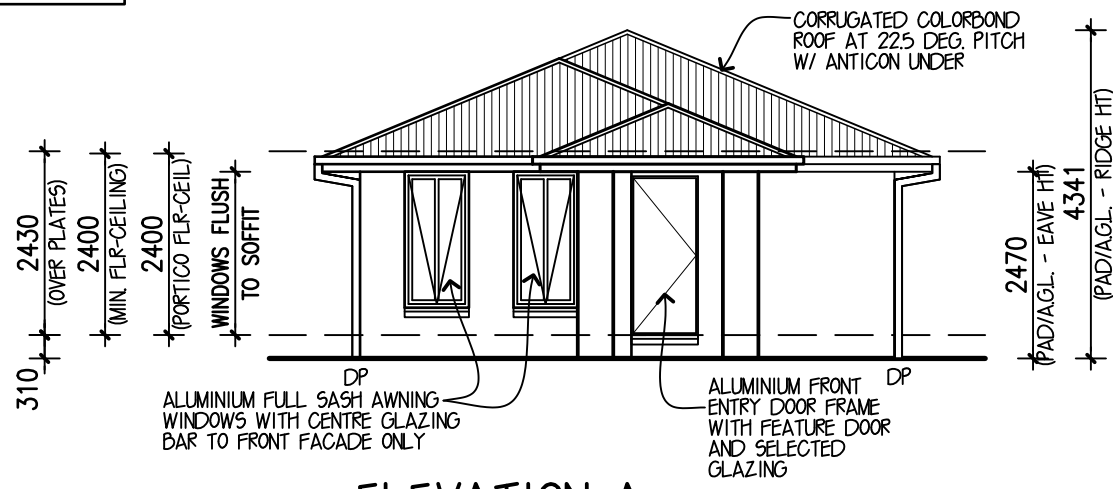
PERMIT No: **---** DWS: **N3**

CONSTRUCTION PLANS
 DATE: **19.12.23 3LB** SHEET: **6 of 13**

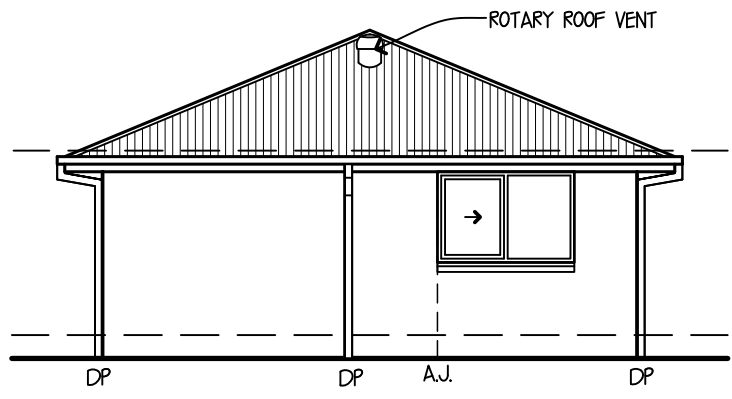
NOTE:
450mm eave UNO.

NOTE: PROVIDE BRICKWORK
ABOVE FRONT ENTRY DOOR
(U.N.O)

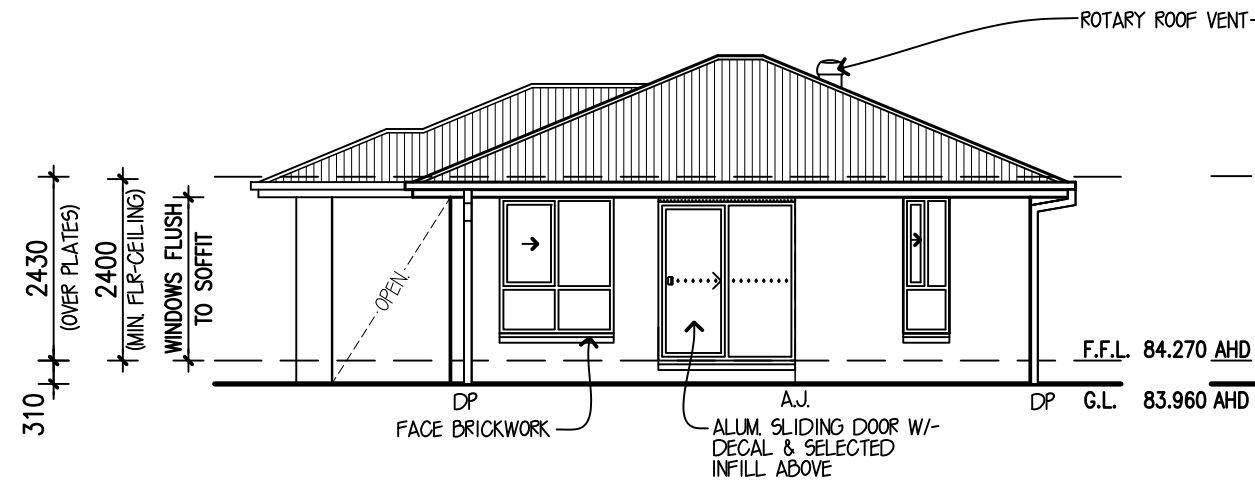
NOTE:
REFER TO COVER PAGE NOTE FOR NSW BASIX
REQUIREMENTS.
NOTE: PROVIDE BUSHFIRE HAZARD REQUIREMENTS
NOTE: 70MM STEEL FRAME & TRUSSES
NOTE:
PROVIDE SELECTED SCREENS TO ALL OPENABLE
WINDOWS AND EXTERNAL DOORS



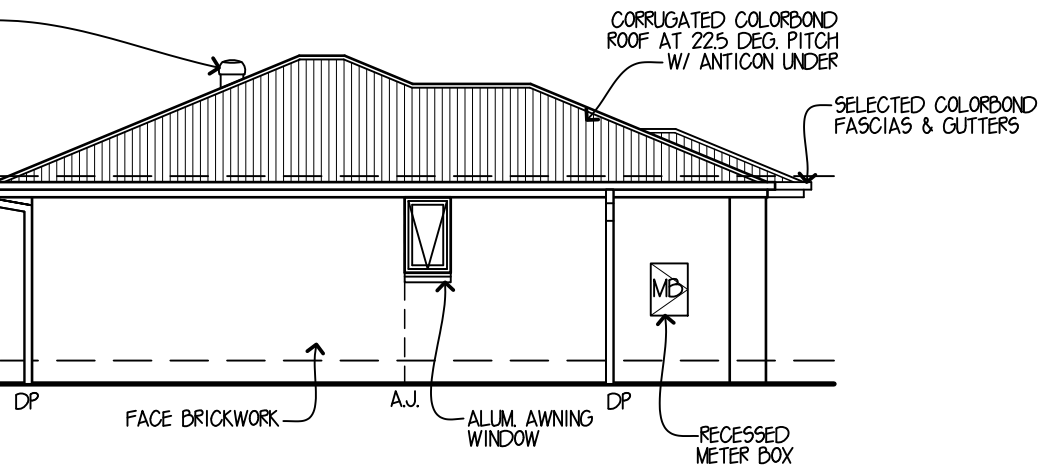
ELEVATION A.



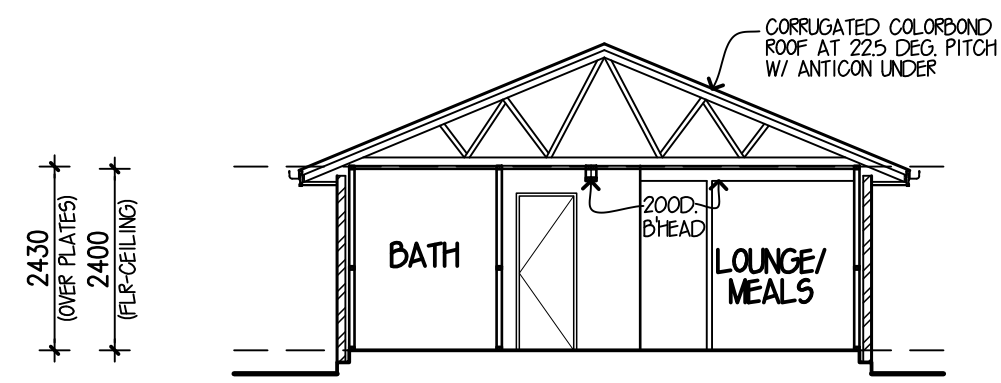
ELEVATION C.



ELEVATION B.
ELEVATIONS 1:100



ELEVATION D.



F.F.L. 84.270 AHD
WAFFLE POD SLAB
G.L. 83.960 AHD
NOTE: REFER ENGINEER'S FOOTING DESIGN.

SOIL CLASSIFICATION 's'
REFER SOIL REPORT (REF. NO 232884)

SECTION X-X
SECTION 1:100

DESIGN: **RETREAT 6**
FACADE: **ASPIRE** CEILING: **24**
GARAGE:

SECTION

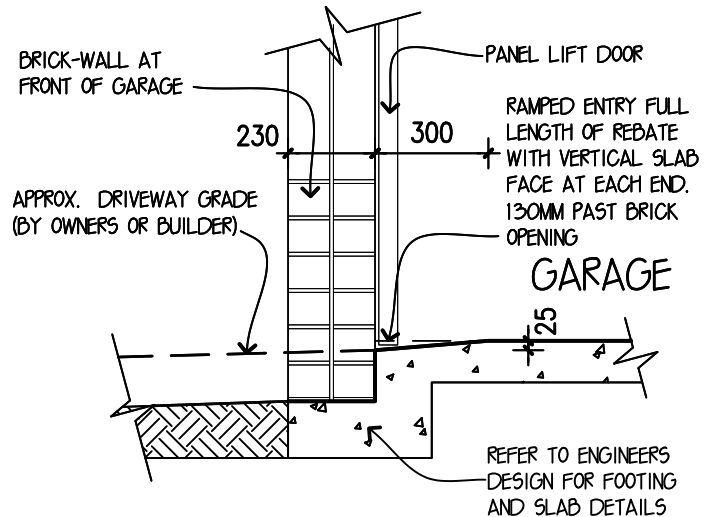
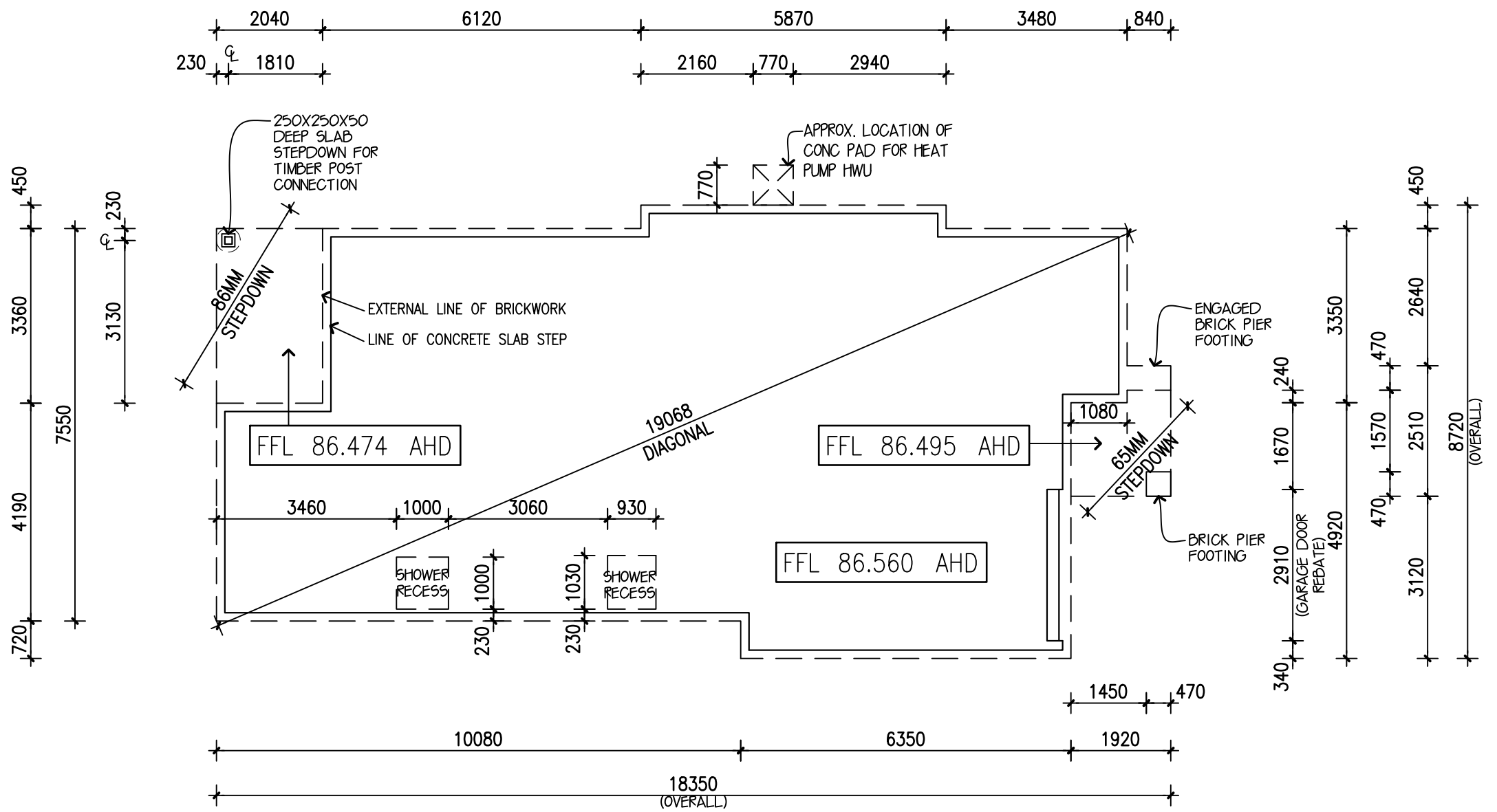
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LOT 9 AINSWORTH ROAD
MONGOGARIE

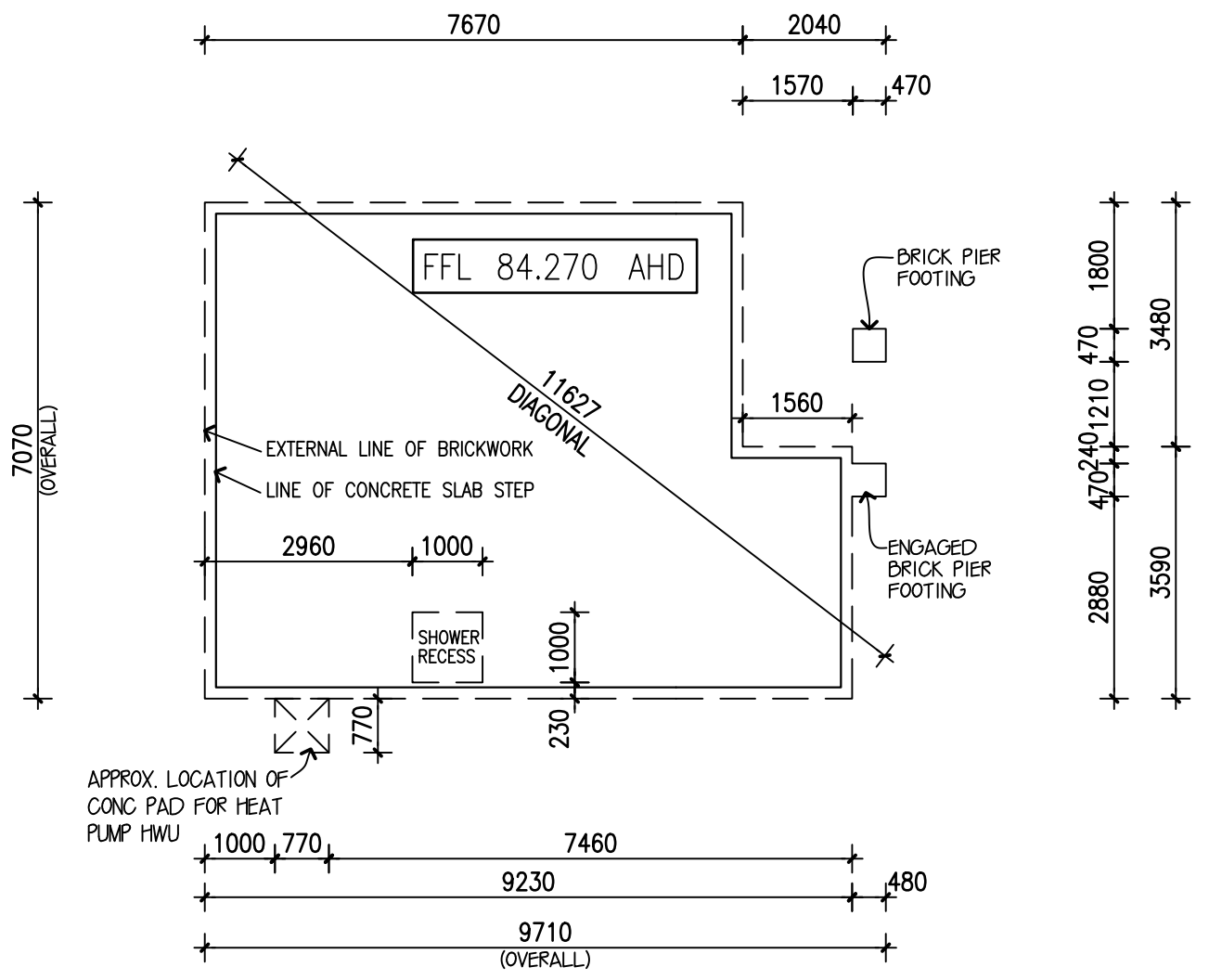
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PERMIT No: **---** DWS: **N3**
CONSTRUCTION PLANS SHEET:
DATE: **19.12.23 3LB** 7 of 13



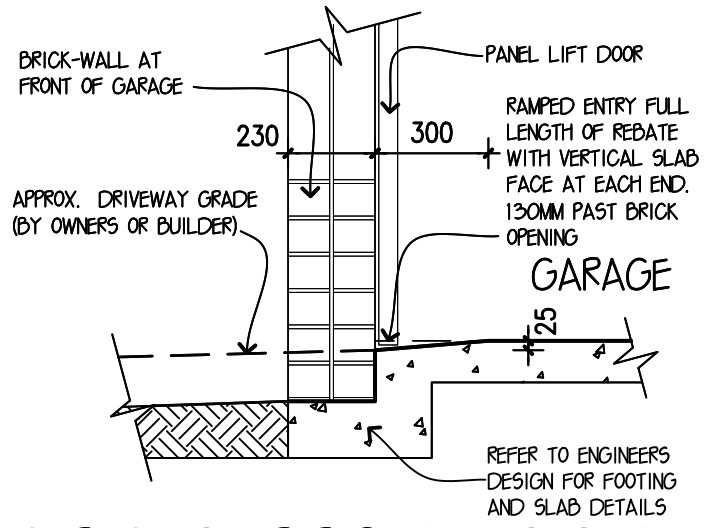
GARAGE DOOR REBATE/END DETAIL
SCALE 1:20

SLAB PLAN 1:100

DESIGN: CLARA 15		OWNER: A. & J. BEVAN & M. LUDLOW
FACADE: ASPIRE CEILING: 25, L GARAGE: SINGLE		LOT 9 AINSWORTH ROAD MONGOGARIE
SLAB PLAN BY METRICON 209 Robina Town Centre Drive, Robina, QLD 4226 Tel: 07 5501 7200 Fax: 07 5562 2194. METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTION IS FORBIDDEN AND WILL BE PROSECUTED.		JOB NO: 743489 MST VER: FEB 2022
		PERMIT No: --- DWS: N3
		CONSTRUCTION PLANS DATE : 19.12.23 3LB SHEET: 8 of 13

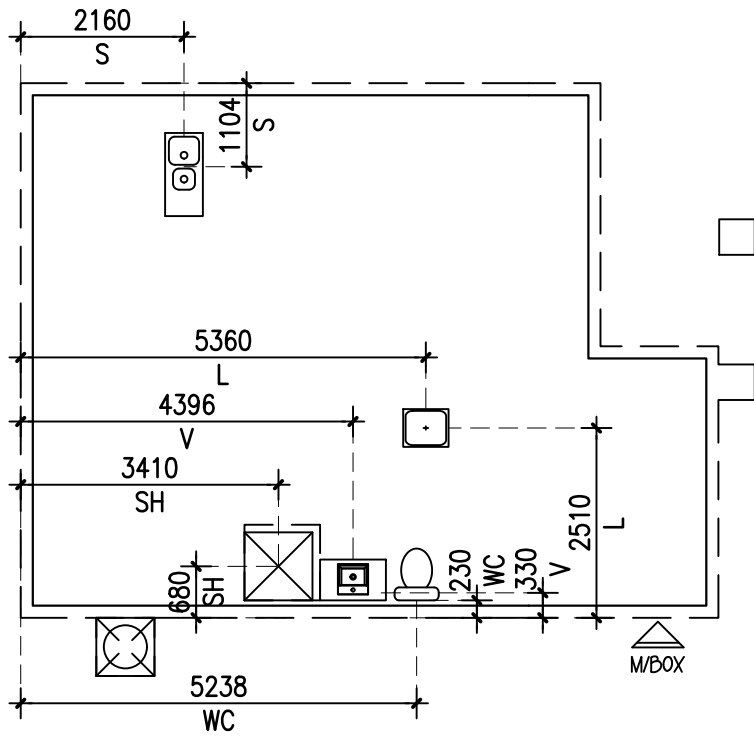


SLAB PLAN 1:100



GARAGE DOOR REBATE/END DETAIL
SCALE 1:20

DESIGN: RETREAT 6	FREEDOM m <small>metricon</small>	OWNER: A. & J. BEVAN & M. LUDLOW	
FACADE: ASPIRE CEILING: 24 GARAGE:		LOT 9 AINSWORTH ROAD MONGOGARIE	
SLAB PLAN	BY METRICON <small>209 Robina Town Centre Drive, Robina, QLD 4226 Tel: 07 5501 7200 Fax: 07 5562 2194.</small>	JOB NO: 743489	MST VER: FEB 2022
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		CONSTRUCTION PLANS DATE : 19.12.23 3LB	
		SHEET: 8 of 13	



QA SLAB LAYOUT PLAN 1:100

INTERNAL PLUMBING LAYOUT - DIMENSIONS LEGEND:

NOTE: SPECIFIC LOCATION OF REQUIRED PLUMBING POINTS MUST BE DETERMINED IN CONJUNCTION WITH PRODUCT SPECIFICATIONS, COLOUR SELECTION AND CONTRACT.

- V = VANITY BASIN (NOTE: WASTE IS DIMENSIONED AS 100MM OFF WALL AS STD)
- WC = CENTRELINE TOILET (NOTE: WASTE POINT IS DIMENSIONED HARD AGAINST WALL AS STD)
- B = CENTRELINE BATH (NOTE: WASTE POINT IS INDICATIVE ONLY - REFER TO SPECS TO CLARIFY)
- PS = CENTRELINE PLUMBING STACK
- SH = CENTRELINE SHOWER BASE (IF STRIP DRAIN SELECTED, DIM. TO CENTRELINE OF DRAIN 150MM OFF WALL)
- S = CENTRELINE KITCHEN SINK BOWLS
- L = CENTRELINE LAUNDRY TUB

DESIGN: **RETREAT 6**
 FACADE: **ASPIRE** CEILING: **24**
 GARAGE:



OWNER: **A. & J. BEVAN & M. LUDLOW**
LOT 9 AINSWORTH ROAD
MONGOGARIE

QA SLAB LAYOUT PLAN

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JOB NO: **743489** MST VER: **FEB 2022**

PERMIT No: **---** DWS: **N3**
CONSTRUCTION PLANS SHEET:
 DATE: **19.12.23 3LB** **88** of **13**

NOTES:

- * INTERNAL HEIGHT DIMENSIONS ARE TAKEN FROM F.F.L.
- * INTERNAL DIMENSIONS ARE TAKEN FROM PLASTER.
- * ALL BENCHTOP DIMENSIONS ARE CRITICAL.
- * TILE & CUPBOARD DIMENSIONS ARE APPROX. ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES & FINISH THICKNESSES.
- * SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.
- * BENCHTOPS AND ISLAND BENCH BACK PANELS MAY HAVE A JOIN DEPENDANT ON SIZE & CONFIGURATION, POSITIONED AT THE MANUFACTURERS DISCRETION.
- * PROFILE LINES DRAWN ON CABINETRY ARE INDICATIVE ONLY, REFER TO COLOUR SELECTION.

NOTE:
 PROVIDE SELECTED STONE BENCH TOP TO VANITIES WITH 20mm EDGE.

DESIGN: **CLARA 15**
 FACADE: **ASPIRE** CEILING: **25, L**
 GARAGE: **SINGLE**

INTERNAL ELEVATIONS

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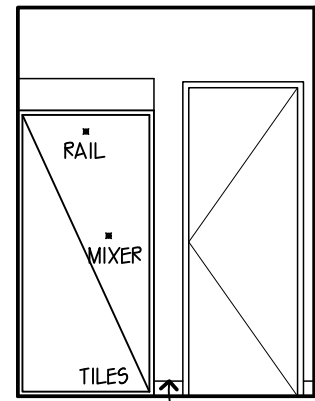
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OWNER: **A. & J. BEVAN & M. LUDLOW**
LOT 9 AINSWORTH ROAD
MONGOGARIE

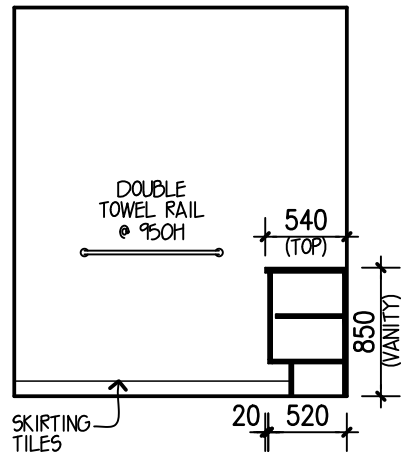
JOB NO: **743489** MST VER: **FEB 2022**

PERMIT No: **—** DWS: **N3**

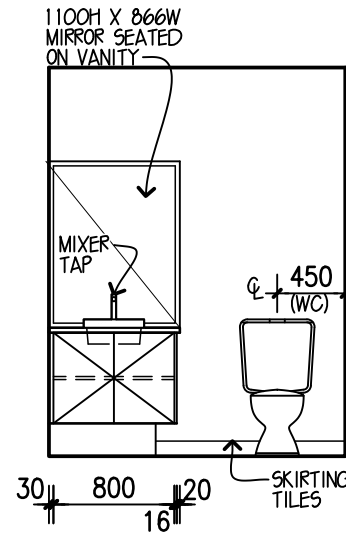
CONSTRUCTION PLANS SHEET:
 DATE: **19.12.23 3LB** 10 of 13



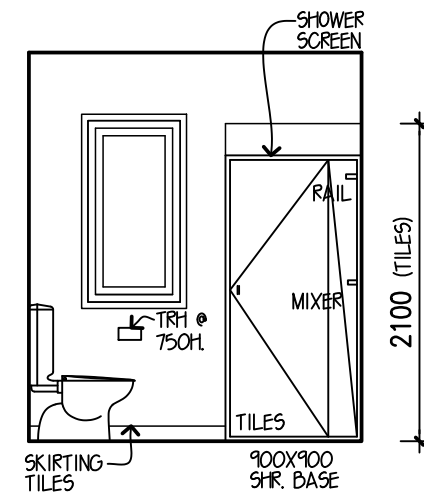
ELEVATION A
 ENSUITE



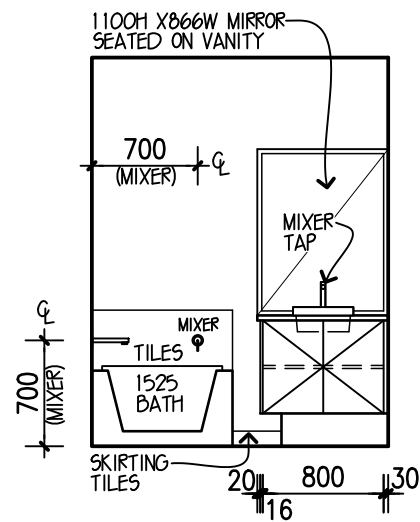
ELEVATION B



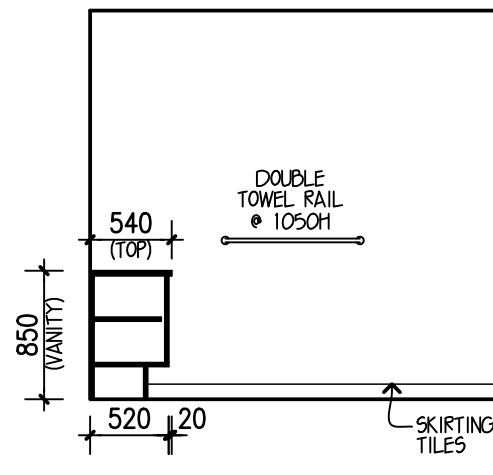
ELEVATION C



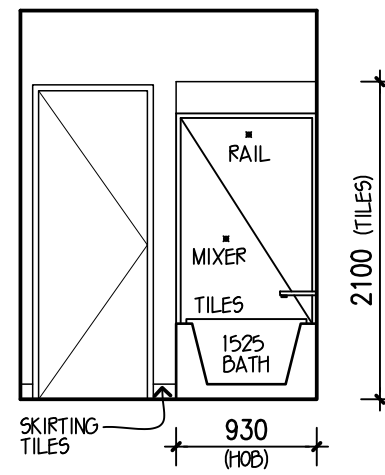
ELEVATION D



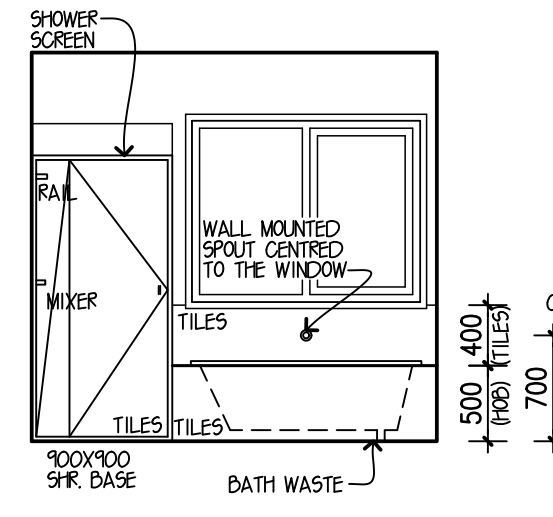
ELEVATION A
 BATH



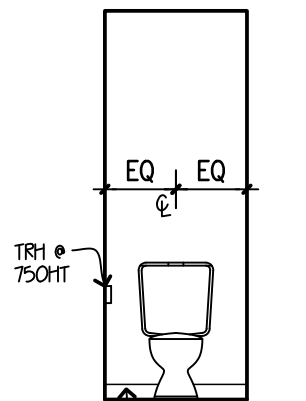
ELEVATION B



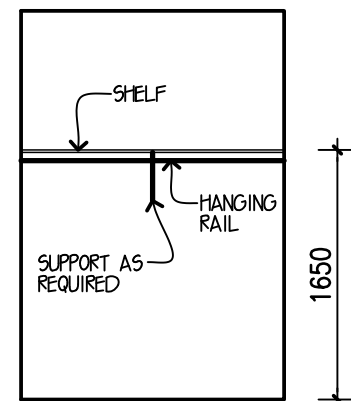
ELEVATION C



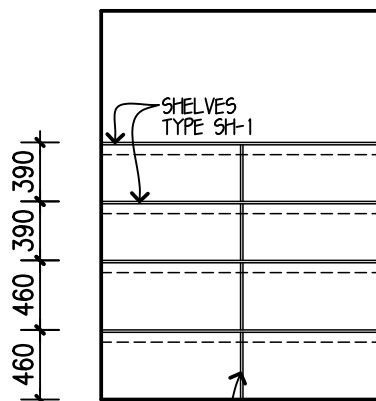
ELEVATION D



ELEVATION C
 W.C.

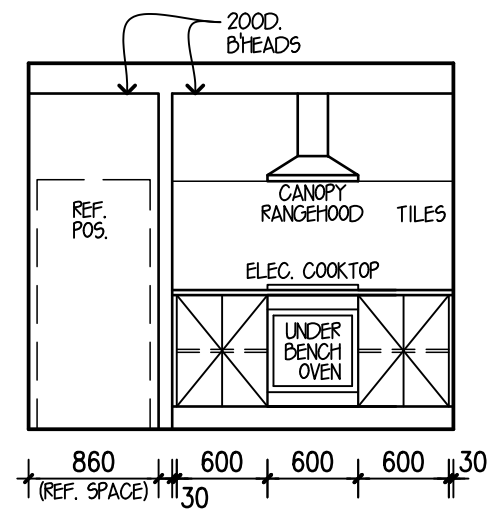


BED'S 1, 2 & 3
 ROBE (TYPICAL)

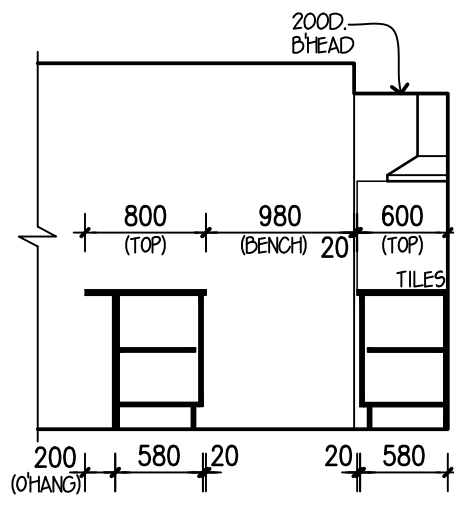


ELEVATION D
 LINEN

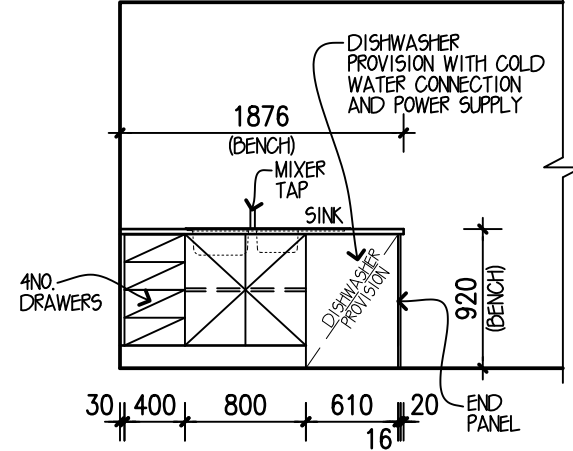
INTERNALS 1:50



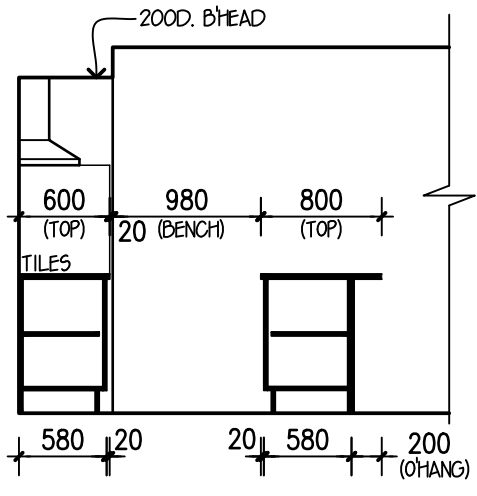
ELEVATION A
KITCHEN



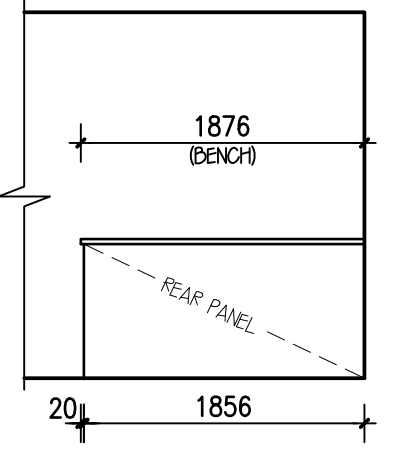
ELEVATION B



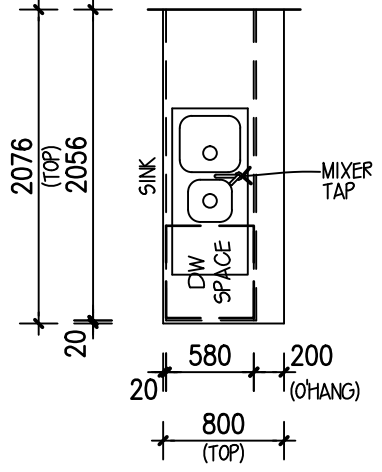
ELEVATION C



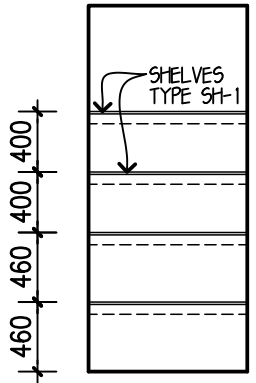
ELEVATION D



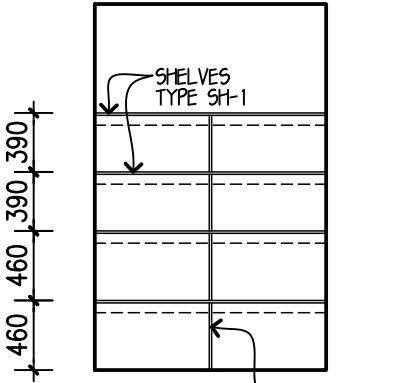
ELEVATION A
(ISLAND BENCH)



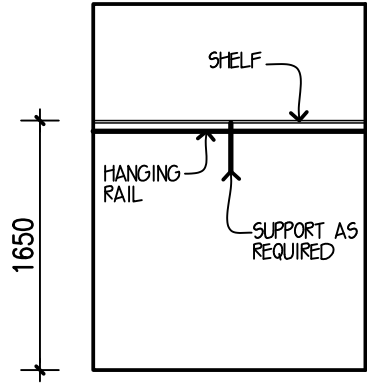
KITCHEN ISLAND
BENCH DETAIL



ELEVATION B
PANTRY



ELEVATION B
LINEN



BED'S 1 & 2
ROBE (TYPICAL)
INTERNALS 1:50

DESIGN: **RETREAT 6**
 FACADE: **ASPIRE** CEILING: **25, L**
 GARAGE: **SINGLE**

INTERNAL ELEVATIONS

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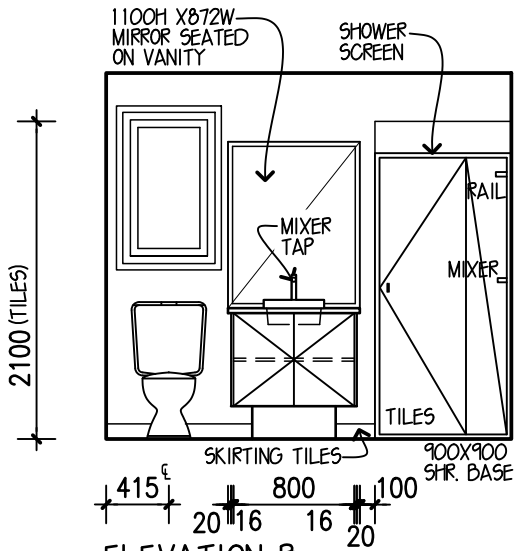
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MONGOGARIE

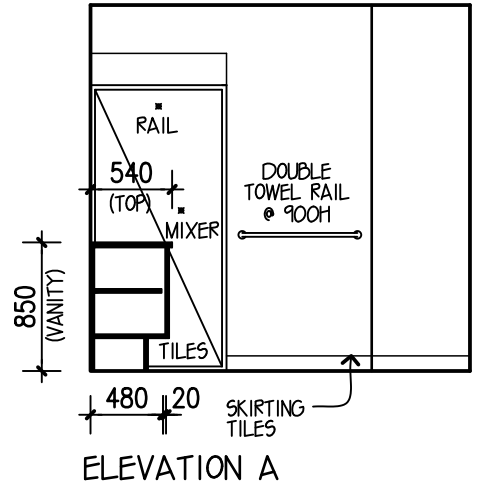
JOB NO: 743489 MST VER: FEB 2022

PERMIT No: _____ DWS: N3

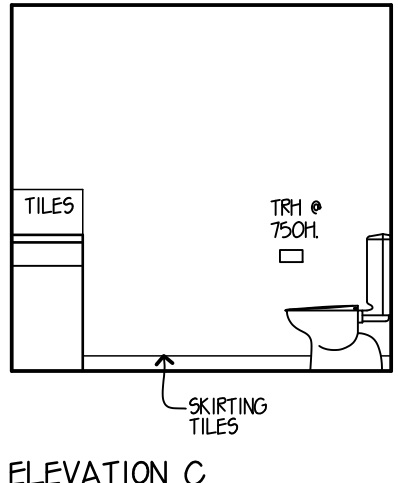
CONSTRUCTION PLANS
 DATE: 19.12.23 3LB SHEET: 11 of 13



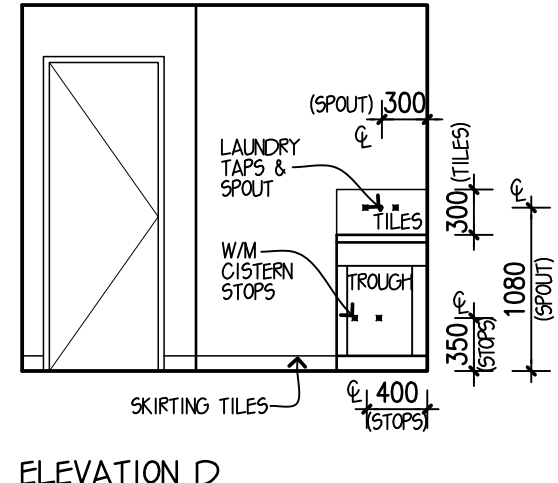
ELEVATION B
BATH
INTERNALS 1:50



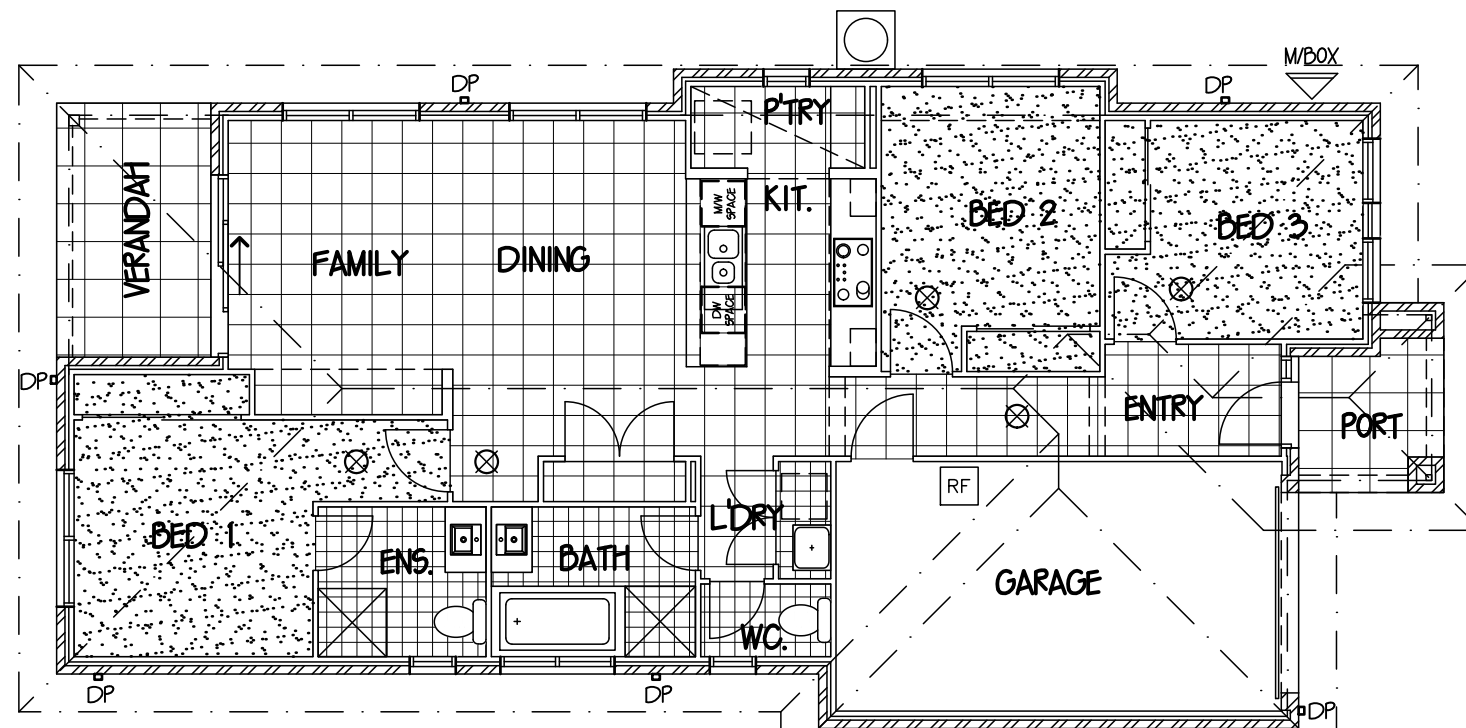
ELEVATION A



ELEVATION C



ELEVATION D

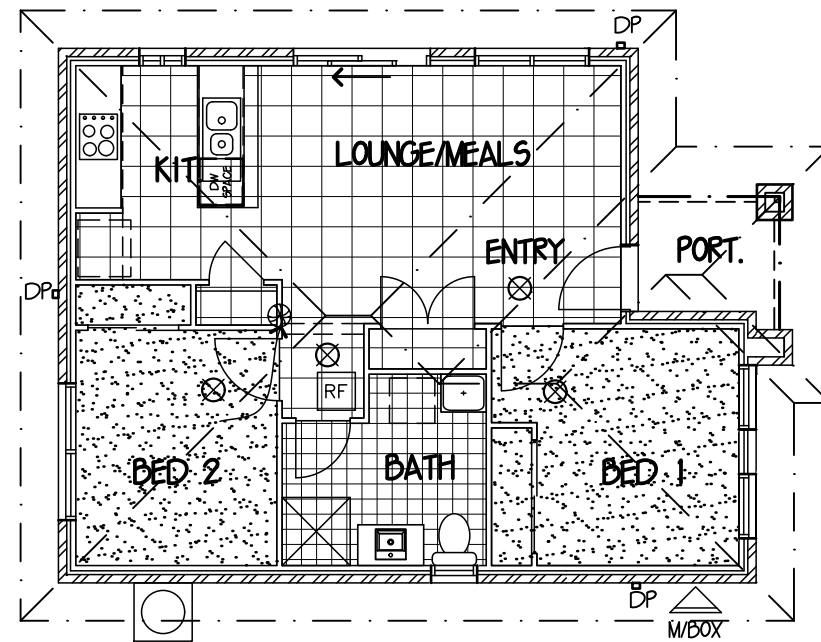


FLOOR COVERINGS LEGEND:

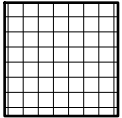
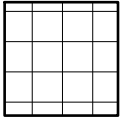

	WET AREA TILES = 9.70 SQM
	TILED = 44.30 SQM
	CARPET = 33.94 SQM
	OUTDOOR TILES = 10.29 SQM

FLOOR COVERING PLAN 1:100

DESIGN: CLARA 15 FACADE: ASPIRE CEILING: 25, L GARAGE: SINGLE	FREEDOM	OWNER: A. & J. BEVAN & M. LUDLOW LOT 9 AINSWORTH ROAD MONGOGARIE	
		JOB NO: 743489 MST VER: FEB 2022	PERMIT No: --- DWS: N3
FLR. COVER PLAN	BY METRICON <small>209 Robina Town Centre Drive, Robina, QLD 4226 Tel: 07 5501 7200 Fax: 07 5562 2194. Metricon Homes QLD Pty Ltd is licensed under the QBCC Act 1991 (QBCC Licence 40992), NSW Builders License 36654C COPYRIGHT © 2009 reproduction forbidden. Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.</small>	CONSTRUCTION PLANS DATE : 19.12.23 3LB	
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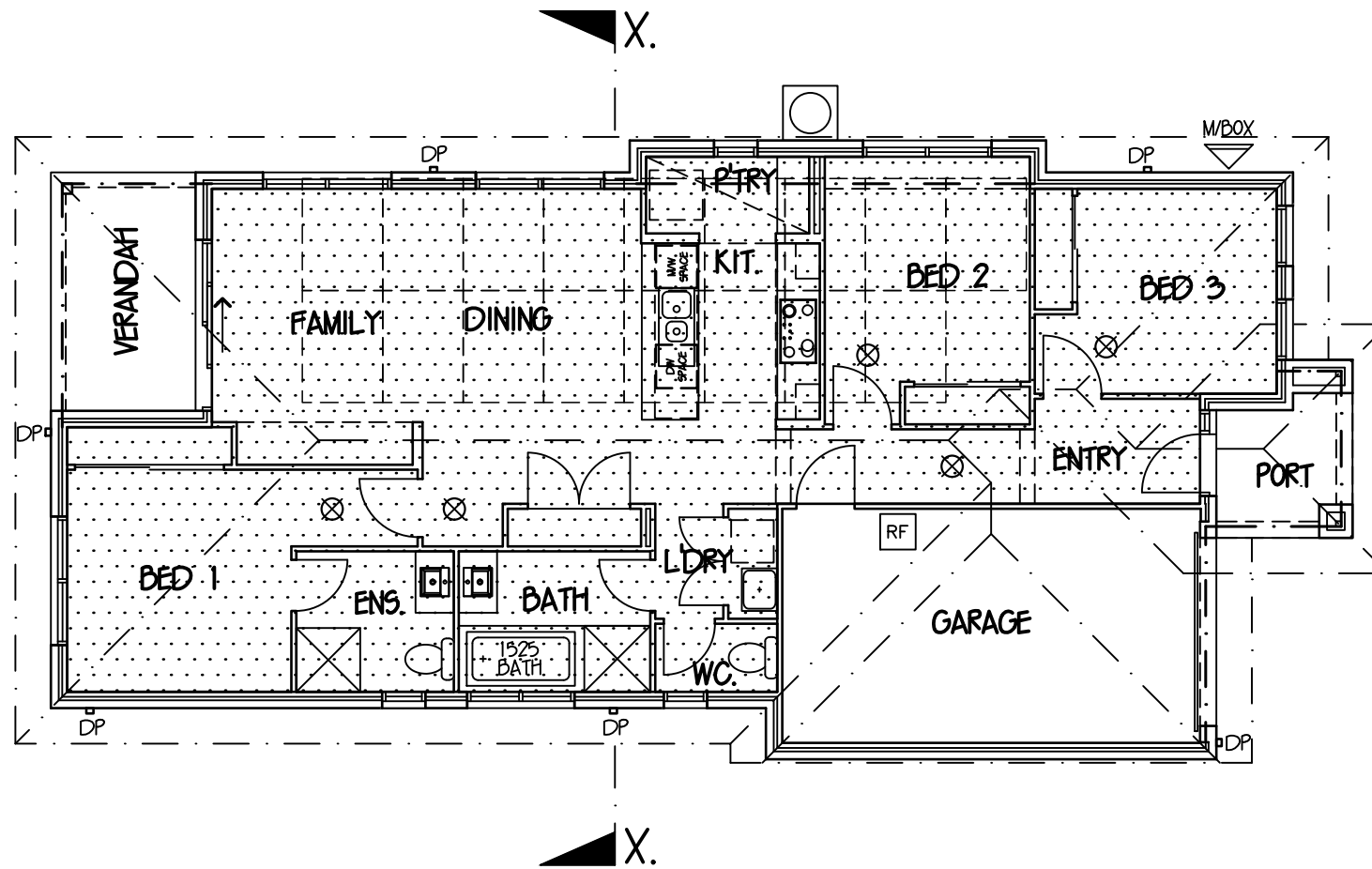


FLOOR COVERINGS LEGEND:

	WET AREA TILES = 5.34 SQM
	TILED = 24.04 SQM
	CARPET = 19.39 SQM

FLOOR COVERING PLAN 1:100

DESIGN: RETREAT 6 FACADE: ASPIRE CEILING: 24 GARAGE:	FREEDOM m <small>metricon</small>	OWNER: A. & J. BEVAN & M. LUDLOW	
		LOT 9 AINSWORTH ROAD	
		MONGOGARIE	
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	<small>PERMIT No: _____</small>	CONSTRUCTION PLANS DATE: 19.12.23 3LB	
	SHEET: 13 of 13		




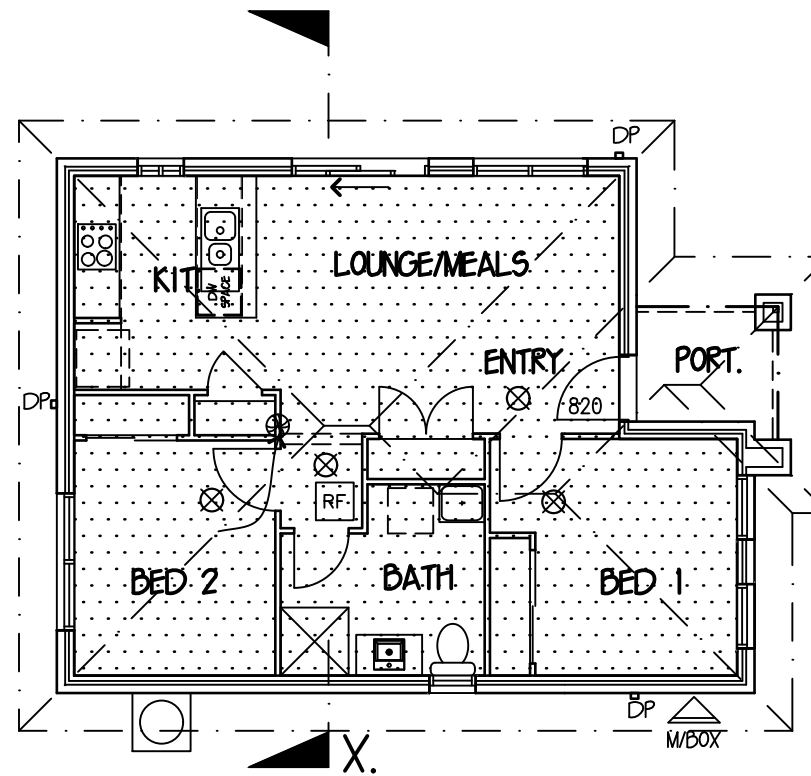
Floor Space Ratio = 0.00025 :1

Gross Floor Area/Site Area = FSR
 96.13sqm/ 391500 sqm = 0.00025

Gross Floor Area	
(measured from the internal face of external walls excludes front portico, outdoor room, garage and stair void)	
Ground Floor:	96.13 SQM
First Floor:	0.00 SQM
Total:	96.1 SQM

 = Gross Floor Area

DESIGN: CLARA 15		OWNER: A. & J. BEVAN & M. LUDLOW	
FACADE: ASPIRE CEILING: 25, L		LOT 9 AINSWORTH ROAD MONGOGARIE	
GARAGE: SINGLE		JOB NO: 743489	MST VER: FEB 2022
FLOOR PLAN	BY METRICON <small>209 Robina Town Centre Drive, Robina, QLD 4226 Tel: 07 5501 7200 Fax: 07 5562 2194.</small>	PERMIT No: —	DWS: N3
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Floor Space Ratio = 0.00013 :1

Gross Floor Area/Site Area = FSR
 52.54sqm/ 391500 sqm = 0.00013

Gross Floor Area	
(measured from the internal face of external walls excludes front portico, outdoor room, garage and stair void)	
Ground Floor:	52.54 SQM
First Floor:	0.00 SQM
Total:	52.5 SQM

 = Gross Floor Area

DESIGN: RETREAT 6	FREEDOM m <small>metricon</small>	OWNER: A. & J. BEVAN & M. LUDLOW	
FACADE: ASPIRE CEILING: 24 GARAGE: SINGLE		LOT 9 AINSWORTH ROAD MONGOGARIE	
FLOOR PLAN	BY METRICON	JOB NO: 743489	MST VER: FEB 2022
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		CONSTRUCTION PLANS DATE: 19.12.23 3LB	
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