

# AINSWORTH HERITAGE



## Statement of Heritage Impact

Residential Lots:

Currajong Street, Evans Head NSW

April 2019



*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

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*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

## Table of Contents

<b>1</b>	<b>Introduction .....</b>	<b>5</b>
1.1	Preamble.....	5
1.1	Aims .....	5
1.2	Methodology .....	6
1.3	Site Location and Curtilage .....	6
1.4	Scope and Limitations .....	10
1.5	Author Identification.....	10
1.6	Acknowledgements.....	10
<b>2</b>	<b>Historical Background .....</b>	<b>11</b>
2.1	Pre World War II History .....	11
2.2	Selection and Establishment of No 1 BAGS.....	11
2.3	Operation of the Aerodrome .....	15
2.4	Decommissioning of the RAAF Aerodrome .....	15
2.5	The Aerodrome’s Decline.....	15
2.6	Recent History of the Aerodrome.....	16
2.7	The Subject Site .....	17
<b>3</b>	<b>Site Description.....</b>	<b>18</b>
3.1	General Description of the Aerodrome .....	18
3.2	Description of the Subject Allotments.....	18
3.3	Historic Fabric .....	20
<b>4</b>	<b>Heritage Significance.....</b>	<b>21</b>
4.1	Significance of the Aerodrome .....	21
4.2	Significance of the Subject Site .....	22
<b>5</b>	<b>Statutory Context .....</b>	<b>23</b>
5.1	Heritage Listings .....	23
5.2	<i>NSW Heritage Act, 1977</i> Obligations .....	23
5.3	Land Covenants .....	24
<b>6</b>	<b>Proposed Works .....</b>	<b>26</b>
6.1	Preamble.....	26
6.2	General Description of Works.....	26
6.3	Scope of Works.....	26
6.4	Response of the Design to Surrounding Area .....	27
6.5	Additional Acoustic Treatments .....	27
<b>7</b>	<b>Impact Assessment .....</b>	<b>29</b>



7.1	Assessment of Impact Against Significance.....	29
7.2	Conclusion .....	31
8	Recommendations and Management .....	33
	Bibliography .....	34
	Appendix A– Land Covenant Details .....	Error! Bookmark not defined.
	Appendix B– Lots Plans (elevations and floor plans).....	Error! Bookmark not defined.



# 1 Introduction

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## 1.1 Preamble

This Statement of Heritage Impact (SOHI) was commissioned by L J Hooker Evans Head on behalf of a group of residential landowners to investigate the potential impact of their proposed 15 residential dwellings upon the heritage significance of Evans Head Memorial Aerodrome. The SOHI forms the supporting documentation for a Section 60 permit application by LJ Hooker for the subdivision.

The 15 residential lots are located along Currajong Street within the southernmost area of the heritage listed aerodrome. This area is not an operational part of the aerodrome however it is within the curtilage defined for the site's listing on the NSW State Heritage Register. Under Section 60 of the *NSW Heritage Act (1977)*, an application to the Heritage Council is required for approval of various works to items listed on the NSW State Heritage Register.

Richmond Valley Council, the aerodrome owner, has sold the non-operational southern portion of the aerodrome – the bulk of this portion has been sold for a retirement village development, with 20 residential along Currajong Street sold as individual residential lots.

This SOHI has been prepared to accompany a Section 60 application for the construction of residential houses on 15 of those residential lots (Lots 2, 3, 4, 5, 6, 8, 10, 11, 12, 13, 14, 17, 18, 19 and 20.).

## 1.1 Aims

The aim of the Impact Statement are:

- To ensure that the residential landowners meet their statutory obligations under the *Richmond Valley Council Local Environmental Plan* and the *NSW Heritage Act*;
- To minimise the impact of the project on the overall heritage significance of Evans Head Memorial Aerodrome;
- To outline policies and recommendations for the protection and management of the aerodrome's heritage value.



*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

The report will assess and review the history and significance of the Evans Head Memorial Aerodrome, describe the proposed residential homes, assess their impact on the aerodrome's heritage significance and develop appropriate mitigation measures if necessary.

## 1.2 Methodology

This report was prepared in accordance with the guidelines of the *Burra Charter of Australia ICOMOS*,<sup>1</sup> and the methodology outlined in the NSW Heritage Branch document *Statements of Heritage Impact*.<sup>2</sup>

To achieve its aims, this SOHI will undertake and prepare:

- Background Review  
A very brief review of the site's significance and history.
- Physical Description  
A description of the residential allotments and their relationship with the operational area of the aerodrome. .
- Significance Assessment  
The aerodrome's significance will be outlined.
- Statutory Context  
The site's statutory provisions as they relate to heritage will be identified.
- Proposed Development  
The proposed designs for each of the residential allotments will be outlined.
- Impact Assessment  
The impact of the proposed residential allotments on the site's heritage significance will be assessed.
- Recommendations  
If necessary, mitigative measures will be recommended.

## 1.3 Site Location and Curtilage

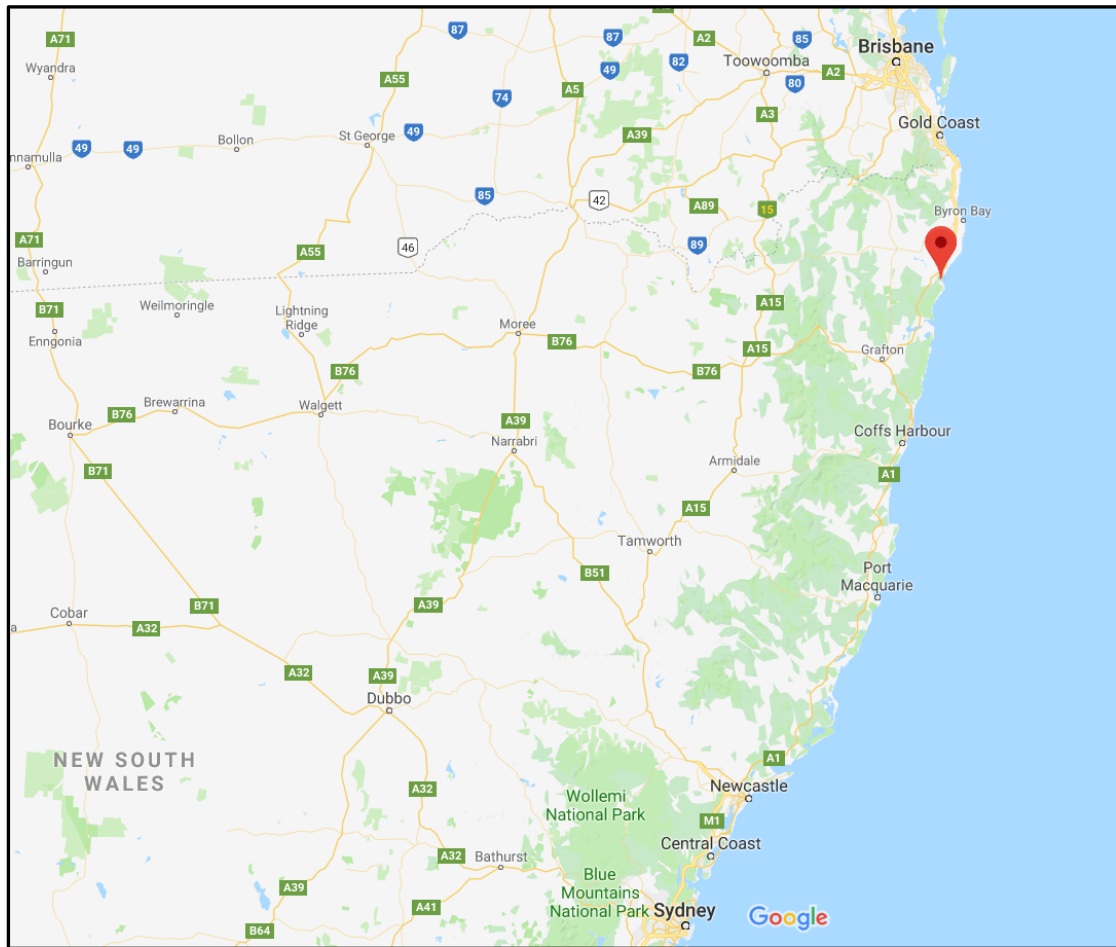
The 15 allotments are located on northern side of Currajong Street at Evans Head on the far north coast of NSW.

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<sup>1</sup> Australia ICOMOS. 1999. *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance*. Australia ICOMOS Inc, Burwood, Victoria.

<sup>2</sup> NSW Heritage Office and the Department of Urban Affairs and Planning. 1996. *Statements of Heritage Impact. NSW Heritage Manual*.

Evans Head is located on the Far North Coast of New South Wales, approximately 35kms by road south of the Ballina CBD (see Figure 1.1).



**Figure 1.1:** The location of Evans Head within NSW (image courtesy of Google).

The residential allotments are within the southernmost part of Evans Head Memorial Aerodrome, which comprises approximately 190 hectares. The allotments comprise an extremely small portion of the southernmost portion of the aerodrome. Figure 1.2 illustrates the curtilage of the heritage listed aerodrome and the area of residential allotments.





**Figure 1.2:** Area of residential allotments (shaded blue) within the aerodrome (curtilage indicated by the red line). The area shaded yellow is the non-operational area of the aerodrome. It has been sold by Richmond Valley Council and the subdivision for residential housing was approved in 2018.





**Figure 1.4:** Lot plan. The lots covered by this SOHI are shaded blue (plan supplied by L J Hooker Evans Head.)

#### **1.4 Scope and Limitations**

The scope of this SOHI is to determine the impact, if any, of the proposed construction of residential houses within the southernmost portion of the aerodrome along Currajong Street.

This SOHI related only to lots: 2, 3, 4, 5, 6, 7, 8, 10, 11, 12, 13, 14, 17, 18, 19 and 20.

No ground disturbing archaeological work was carried out during this assessment. This SOHI does not include an Indigenous Heritage Assessment.

#### **1.5 Author Identification**

This SOHI was prepared by Jane Alexander.

#### **1.6 Acknowledgements**

The following individuals and groups were of assistance in compiling this report:

- L J Hooker Evans Head ; and
- Richmond Valley Council.



*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

## 2 Historical Background

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This section provides a brief historical background to Evans Head Memorial Aerodrome. The Post European History largely relies on the historical analysis contained in the *Evans Head Memorial Aerodrome Archaeological Management Plan*.<sup>3</sup> The description and history are outlines only – they are intended to provide a framework for the impact assessment. For more detailed information, please refer directly to the Archaeological Management Plan.

### 2.1 Pre World War II History

The original airfield at Evans Head was constructed in July and August 1936 as an Emergency Landing Ground (ELG) for Woodburn Shire Council. However on 1 April 1937, the Commonwealth resumed the land from Woodburn Shire Council for ‘defence purposes’.<sup>4</sup> The RAAF carried out minor works to the site from 1939-1940 culminating in an extension to the site in 1940 by sixty acres. The RAAF officially took control of the site on 22 January 1941.

### 2.2 Selection and Establishment of No 1 BAGS

No 1 BAGS was the first Bombing and Gunnery School to be established in Australia under the Empire Air Training Scheme (EATS). The purpose of the school was to train Air Observers, Bomb Aimers and Air Gunners in the theory and practice of bombing and air-to-air gunnery.<sup>5</sup> Enough land was needed to establish an airfield, aerodrome and camp area, officer’s accommodation and isolated bombing and gunnery ranges. Sir Valston Hancock, Director of Works and Buildings for the RAAF in 1939 and the initial inspector of Evans Head as a potential location for No 1 BAGS, described the land at Evans Head as ‘*one of the most natural bombing and air firing ranges in the world*’.<sup>6</sup>

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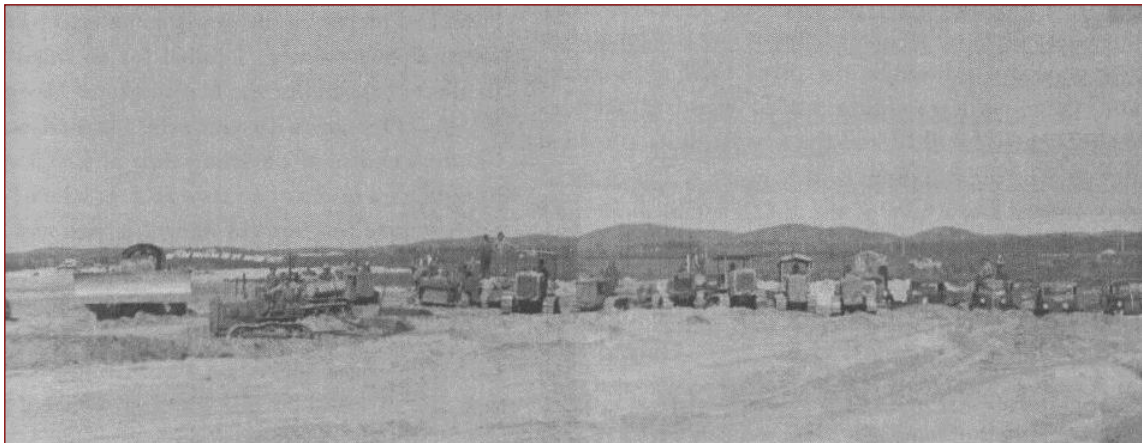
<sup>3</sup> Ainsworth Heritage. 2006. *Evans Head Memorial Aerodrome Archaeological Management Plan*. Unpublished report prepared for Richmond Valley Council.

<sup>4</sup> Map of the Parish of Riley, County of Richmond, 1938. NSW Department of Lands Parish Map Preservation Project. [http://www.lands.nsw.gov.au/survey\\_mapping/parish\\_maps](http://www.lands.nsw.gov.au/survey_mapping/parish_maps).

<sup>5</sup> Haughton-James, J. et.al. *Ibid*. p.14.

<sup>6</sup> Hancock, V. 1990. *Challenge*. Access Press, Northbridge, WA, p.64.

Construction of the base was rapid; it was ready to accept its first trainees seven months after its construction was authorised. The construction of No 1 BAGS included the extension of the aerodrome in 1939 with the acquisition of an additional 600 acres; extensive engineering works were required to establish roads, bridges, culverts, drainage and water supply and large gravel areas for aircraft use; and power was supplied from Ballina and water from a number of bores which were drilled to a depth of 20 – 50 feet.<sup>7</sup>



**Figure 2.1:** Evans Head Memorial Aerodrome, photograph of early construction, 1939 (Source: Houghton, James J. et.al. 2004. *Wings at War: RAAF at Evans Head 1939-1945*. Evans Head Living Museum and Community Technology Centre, Evans Head, p.7).

By the wars end, the aerodrome contained an area of approximately 27,000 acres of land, broken down as follows:<sup>8</sup>

- Aerodrome and Camp: 344 acres of Commonwealth owned land (a small portion of this land is now the state heritage listed aerodrome);
- Explosives Area: 243 acres of Commonwealth owned land;
- North and South Bombing Ranges: c.26, 413 acres of which 105 acres was Commonwealth owned land and the remainder was State Crown Land secured under provisions of National Security.

An immense complex of more than three hundred buildings was constructed to house the various requirements of the training schools, including :

- Hangars and workshops;
- Lecture rooms, teachers rooms, instruction rooms, crew rooms and a library;
- Accommodation huts, messes and a meat house;

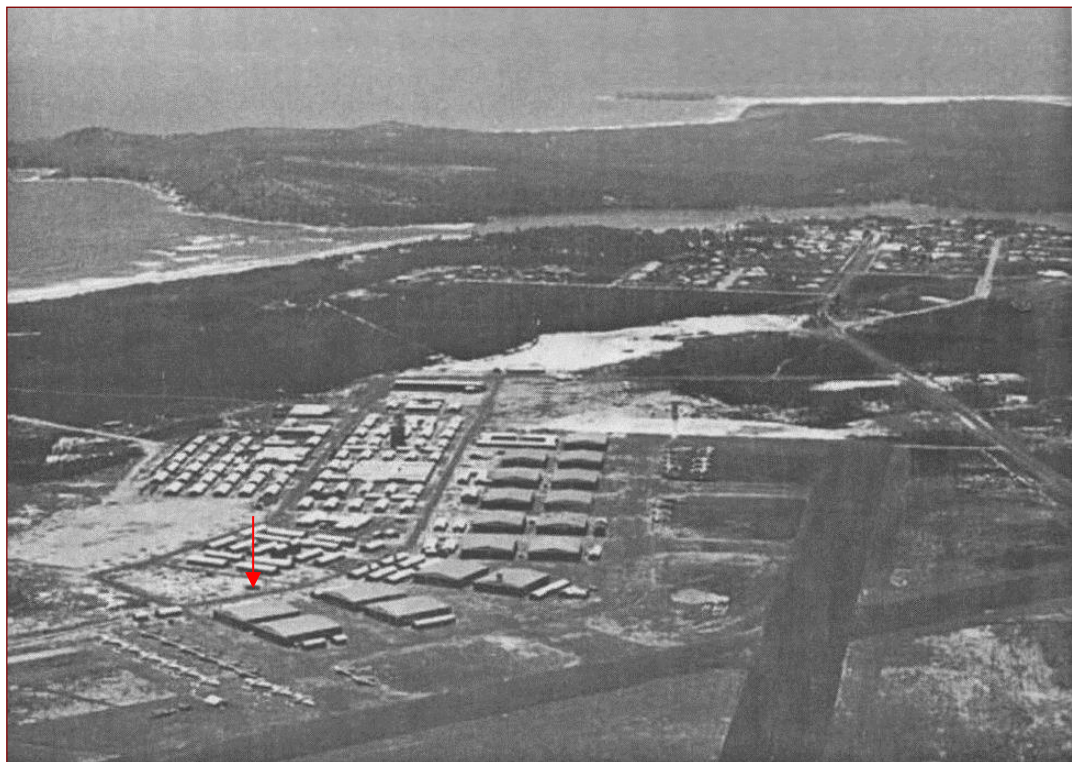
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<sup>7</sup> Houghton-James, *op.cit.*, p.6-7.

<sup>8</sup> NAA; A705, 171/106/114 Part 1. 1945 – 1949. *DWB – Property – Evans Head NSW – Bombing Ranges and Aerodrome Extensions – Disposal of Surplus Assets*.

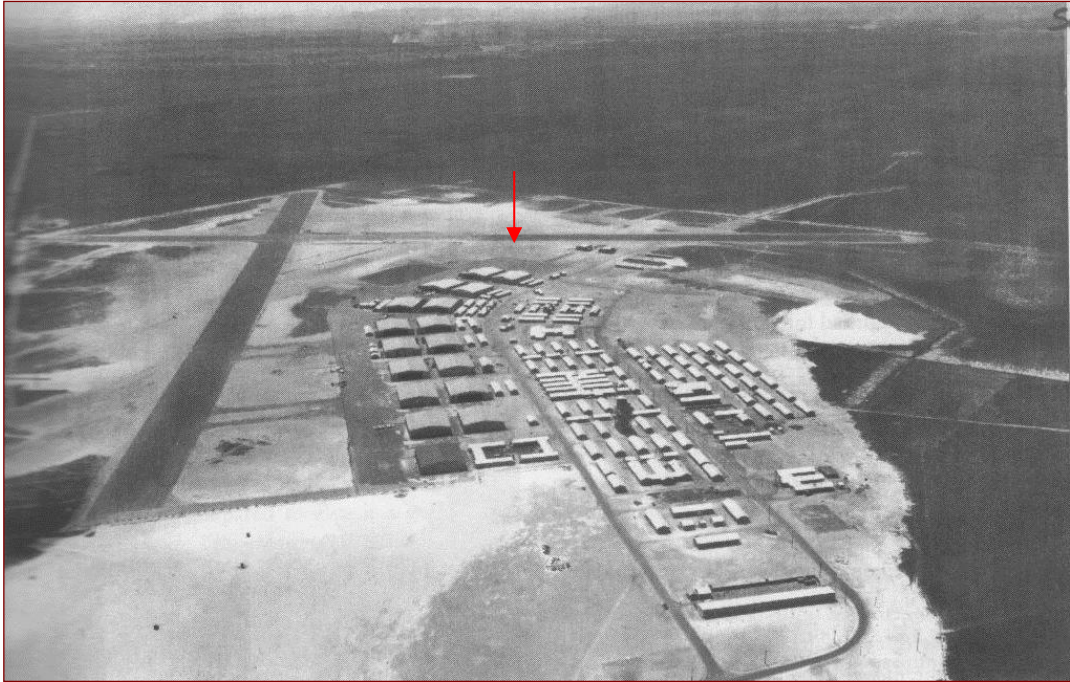
- Water tower, oil shed, pump sheds, petrol storage facilities and a boiler house;
- HQ offices, guard rooms, crew rooms, administration offices and flight offices;
- Observation towers;
- Latrines, ablutions buildings and laundries;
- Coppers Shop, blacksmith, boot makers shop and a carpenters store;
- Bomb stores, armaments huts and stores;
- Recreation grounds, rugby pitch, sports oval, tennis area, car parks, gymnasium, and a cinema;
- Parade Ground;
- Post office, dentist, canteen, bulk store and a hairdresser; and
- Hospital and mortuary.

Less than 5 of these buildings still remain.



**Figure 2.2:** Evans Head Memorial Aerodrome aerial photograph RAAF 1943, looking south-east across the aerodrome and camp areas. The only surviving Bellman Hangar on site today is indicated by the red arrow (Source: Haughton, James J. *op.cit.*, p. 66).





**Figure 2.3:** Evans Head Memorial Aerodrome, World War II aerial photograph looking north. The surviving Bellman hangar is indicated by the red arrow (Source: Houghton, James J. *Ibid.*, p. 5).



### **2.3 Operation of the Aerodrome**

The primary purpose of the Bombing and Gunnery School was to train Air Observers, Bomb Aimers and Air Gunners in the theory and practice of bombing and air-to-air gunnery. The war required fast tracked raining - each course lasting an intensive 4 weeks only, in which time the trainees needed to be completely schooled in bombing and air gunnery practices before they went on to other flight schools for further training.

The EATS scheme was too successful - by March 1943, the British Air Ministry had an oversupply of aircrew. Consequently, in December 1943, No 1 BAGS was disbanded and the No 1 Air Observers School (AOS) was relocated from Cootamundra to Evans Head Aerodrome with 1,496 personnel and trainees.

The AOS was established to train Navigators, Bomb Aimers, Gunners and Air Observers. The AOS trained over 630 personnel during its operation, using Ryan, Tiger Moth, Wackett and Anson aircraft. The school was disbanded on VP (Victory in the Pacific) day, 15 August 1945.

### **2.4 Decommissioning of the RAAF Aerodrome**

In 1945, the AOS was disbanded and the Care and Maintenance Unit was established at the aerodrome. The unit was responsible for the management of the site and the air fleet and in the two years between 1945 and 1947, most of the aircraft were moved offsite and the destruction (or dismantling and transfer) of the RAAF buildings commenced in earnest. At the same time, the responsibility of the aerodrome was passed to the Department of Civil Aviation, ending approximately 10 years of RAAF use and occupation.

By 1947, there were very few aircraft left at the aerodrome and throughout the late 1940s most of the aerodrome buildings were dismantled and destroyed, or transferred to other locations.

### **2.5 The Aerodrome's Decline**

From 1947, the aerodrome was used by Butler Air Transport for commercial aviation activities and in 1952, the Department of Defence handed over the aerodrome to the Department of Transport. Commercial activities ceased in the mid 1950s, when the



*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

aerodrome was closed to commercial flights and its commercial aviation activities were transferred to Casino.

By 1955, only three of the 17 Bellman Hangars remained. One of these Hangars was transferred to Coffs Harbour was later transferred back to Evans Head and has been used as a Council Works Depot on the southern portion of the site. Huts were removed by sawing them into sections for removal on trucks or log sleds. The Bellman hangers were dismantled and also removed on trucks.

Since the mid-1950s, Evans Head Memorial Aerodrome has been used for several purposes including an ELG, aircraft storage facility, ordnance depot and as a staging base for supplies during floods. On 9 February 1954, Her Majesty, Queen Elizabeth II and His Royal Highness, the Duke of Edinburgh flew into Evans Head during their visit to the North Coast.

Much of the aerodrome land to the south has been redeveloped for residential areas and that in the south-east for an industrial estate. In 1985, the main runway (runway 18/36) was lengthened to the north-east while the aerodrome was being temporarily used by Fokker Friendship Services whilst the facilities at Casino were being upgraded.

## **2.6 Recent History of the Aerodrome**

Development highlights of the last 50 odd years include:

- 1985 - Temporary use of the site by Fokker Friendship Services whilst the main regional aircraft facilities at Casino were being upgraded. Use included extension of the main runway (18/36) to the north-east;
- 1992 - Richmond River Shire Council take over the aerodrome from the Department of Transport and downgrade the flying status of the facility;
- 1980s - construction of a large drainage canal along the western perimeter of the subject site;
- Late 1990s - a large section of land south of the aerodrome (formerly part of the aerodrome) approved for subdivision and the provision of housing; and
- Late 1990s - Industrial estate established to the east of the council depot.

The aerodrome remained the property of the Department of Transport until 1992, when ownership was passed to Richmond River Shire Council. Council, in line with a Deed of Agreement for the site, subsequently downgraded the flying status of the aerodrome although it is still used by several types of aircraft for recreational aviation and as an ELG. In particular, Evans Head Memorial Aerodrome has been used for the Great Eastern Fly-In; an



*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*



annual event for recreational aviators from around Australia. The aerodrome is also the focus for war commemorative events held in Evans Head.

In the late 1990s, a section of land comprising the extreme south portion of the aerodrome was subdivided and developed for residential housing.

In August 2000, the aerodrome was listed in the NSW State Heritage Register. The proponents were the very active Evans Head community who have deep attachments to the site. More than 3000 people signed a petition to save the wartime aerodrome by having it listed on the State Heritage Register. This strong community attachment continues today.

## **2.7 The Subject Site**

After World War II, most of the buildings within the aerodrome were removed including all those within the subject site.

In the 1970s, a post-and-wire fence was erected across the site, operationally isolating the southernmost portion from the rest of the aerodrome and rendering the areas of runways within the subject site un-operational.

A Development Application for the remediation of the entire subject site was approved in January 2011, comprising remediation of contaminated hotspots and the removal of the top 100-200mm of topsoil across the site. The Department of Defence has funded some of the remediation work in acknowledgment of their role in the contamination of the site during the war.

The subject site allotments plus the entire southernmost portion of the aerodrome were sold by Richmond Valley Council recently and the Heritage Agreement in place for the management of the aerodrome was lifted for this portion of the site, however it remains within the state heritage curtilage.



## 3 Site Description

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### 3.1 General Description of the Aerodrome

Evans Head Memorial Aerodrome currently comprises approximately 190 hectares of land on the northern side of the village of Evans Head, in Northern NSW. The aerodrome is bounded by Woodburn Road to the west, Currajong Street to the south, Broadwater Road to the east and the Evans Head Sewerage Treatment Plant and Broadwater National Park to the north.

Evans Head Memorial Aerodrome comprises a largely level area of land, with low grasslands surrounding the airfield and dense vegetation covering the remainder of the site. The vegetation comprises heath land with areas of Swamp Eucalypt forest.

The vast bulk of the Aerodrome comprises densely vegetated land. There is very little aerodrome infrastructure – what remains is largely confined to the southernmost third of the site. In this part of the site, the following main features are evident:

- Airport Memorial Drive – which enters the site off Currajong Street and allows access into the Evans Head Industrial Estate (the latter cuts into the SHR listed site);
- Runway System – this comprises four intersecting runways, two of which are tarmac and two of which are grassed, plus associated taxiways and hard surfaced areas;
- Three aircraft hangars – including the original WWII Bellman Hangar and two smaller, modern hangars for light aircraft;
- Small Memorial Garden Area;
- Three World War II timber buildings – including two Ablutions Buildings and one former Canteen Building;
- World War II Machine-gun Pit; and
- Small areas containing archaeological features, such as WWI drainage, building footings etc.

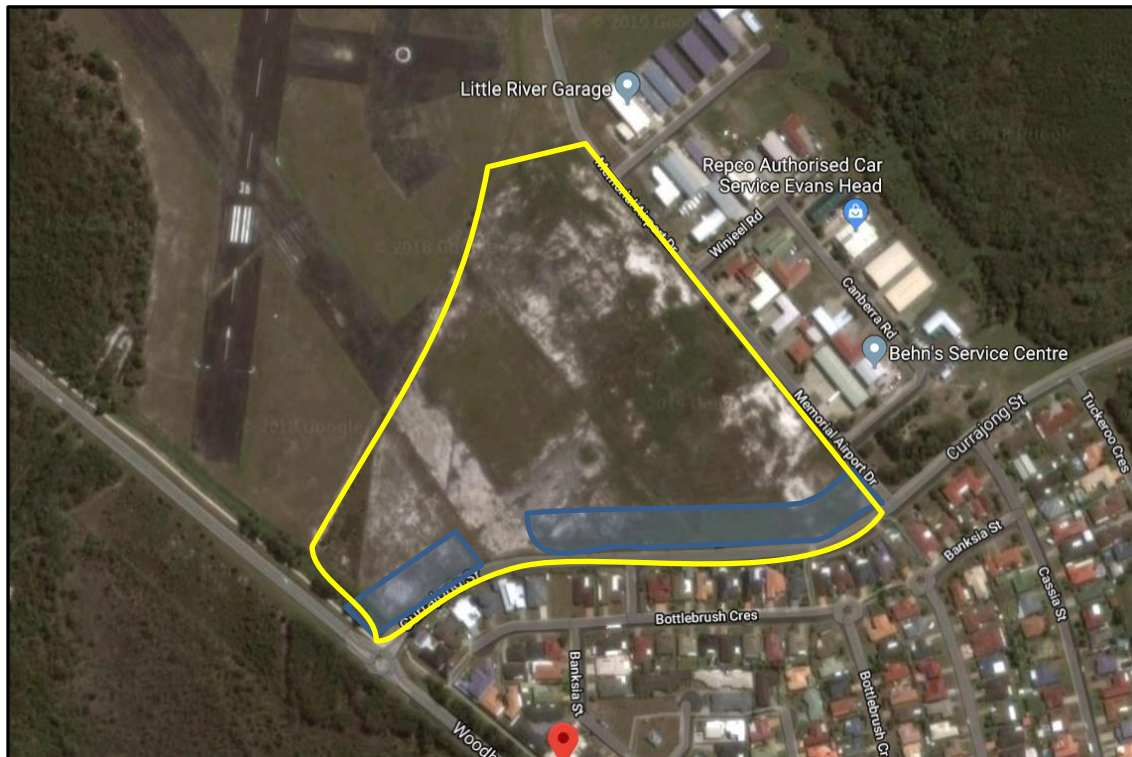
### 3.2 Description of the Subject Allotments

The subject allotments are adjacent to Currajong Street on its northern side. The southern side of Currajong Street comprises a residential area largely consisting of single story brick veneer houses with tiled roofs.



*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

The majority of the subject site area consists of low grass and ground shrub interspersed with areas of open sand.



**Figure 3.1:** The yellow line encloses the un-operational area of the aerodrome, which is separated from the rest of the site with a fence. The areas shaded blue is the area of approved residential allotment subdivision, opposite further residential areas on the southern side of Currajong Street.



**Figure 3.2:** The existing fence separating the operational aerodrome (right) with the buffer land next to the residential subdivision.



**Figure 3.3:** Looking into the buffer land from the operational aerodrome – the subject lots are in the far distance of the image.





**Figure 3.4:** Existing residential development on Currajong Street, opposite the residential allotments.



**Figure 3.5:** Existing residential development on Currajong Street, opposite the residential allotments.

The existing residential area on the opposite side of Currajong Street comprises modern, brick and tile homes with their rear elevations to Currajong Street. These houses are a mix of single and double-storey houses and their rear yards are all fenced with a mixture of Colorbond, brick and timber materials. There are some stands of street trees on the residential side shield some houses, particularly at the western end of the street.

### **3.3 Historic Fabric**

Within the subject site there is no historic fabric relating to the World War II era.

A DA for the remediation of this area was approved in January 2011, which involved the removal of the contaminated hotspots (including the runways, taxiways and drains) and the removal of 100-200mm of soil.



## 4 Heritage Significance

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### 4.1 Significance of the Aerodrome

The approved residential allotments are located within the boundary of the state heritage listed Evans Head Memorial Aerodrome. This section outlines its heritage significance.

The Aerodrome has been assessed many times for its heritage significance. The Aerodrome's Plan of Management (2009) contains a comprehensive Statement of Significance for the overall aerodrome, which is reproduced below.

*The Evans Head Memorial Aerodrome has historical and social significance. The aerodrome was one of the largest bases established under the Empire Air Training Scheme (EATS), and one of the largest operational RAAF bases in Australia during the World War II. The claim that it was the largest EATS training base in the Southern Hemisphere during World War II has not been confirmed. The scale of the base's operations is demonstrated by the four surviving runways and associated taxiways and tarred hangar aprons. The operations of the No 1 Bombing and Gunnery School (BAGS) and the No. 1 Air Observers School (AOS) played an important role in Australia's contribution of air crews to, initially, Britain's war effort, then to Australia's role in the Pacific war and home defence. The base also played a direct home defence role in providing local maritime surveillance and coastal defence.*

*The site contains one original Bellman Hangar of 17 originally built at Evans Head. The Bellman hangar, a British design, was introduced by Sir Valston Hancock, Director of Works, who later became the first commanding officer for the base, and modified for Australian conditions and manufactured in prefabricated sections by BHP. The surviving Bellman hangar is a good example of an innovative approach to wartime needs, and was one of the first erected and is one of a few intact and in situ examples in Australia.<sup>9</sup>*

*The Evans Head Memorial Aerodrome was used after the war as a regional commercial aerodrome, and subsequently as a recreational aerodrome, a use that*

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<sup>9</sup> The Statement that the Bellman Hangar is one of the few intact and in situ examples remaining in Australia has been proven not to be correct. The Conservation Management Plan prepared for the Bellman Hangar in 2007 (Amended 2009 and endorsed by the Heritage Branch on 12 August 2009) undertook a detailed Comparative Analysis and determined that surviving Bellman Hangars both in NSW and in Australia are not rare, with at least 127 surviving in Australia of which at least 64 survive in NSW.

*continues today. The continued association of the place with aviation activities is an integral part of its significance, and is a use that greatly enhances the recognition and understanding of its historical associations.*

*The site has social significance for the many ex RAAF and WAAAF service-men and -women who were associated with the aerodrome, civilian workers, local families and friends of people who served there and died during WWII. The site is used for ANZAC Day celebrations, and occasional reunions and celebrators events for those associated with the place's history. It is also significant to the people of the North Coast region, the residents of Evans Head and visitors who attend activities or are tourists. Moreover it is significant to the people of Evans Head because of the central role it played in the development of the village during and after the war, and because of the military presence in and above the village, which continues on a daily basis in the use of the Southern Bombing Range. The aerodrome is a substantial landmark in Evans Head, from the ground and from the air.*

*The aerodrome has aesthetic significance because of its landmark qualities. Its sheer size as an open grassland area crossed by runways gives it a powerful sense of place when viewed from elevated viewpoints or the air, and its proximity to the Evans Head village and the coastline emphasise its strategic location and the scale of the RAAF Base during the war. It is one of the few remaining large coastal sites that retains some sense of wartime operations.*

#### **4.2 Significance of the Subject Site**

The subject site is part of the larger Evans Head Memorial Aerodrome. It has some historic, associative and social significance as part of the original World War II RAAF training base. However, the subject's site's significance has been eroded over the years by its physical annexation from the operational part of the aerodrome. There is very little historic fabric retained in the subject site – and what is there was greatly disturbed and reduced by the remediation works to the site on 2011. This contributed to the further erosion of its significance.

Whilst part of the original aerodrome, it does not directly contribute to the aerodrome's significance and retains no historic features relating to its World War II history.



*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

## 5 Statutory Context

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### 5.1 Heritage Listings

The following heritage lists were searched for reference to Evans Head Memorial Aerodrome:

- World Heritage List;
- National Heritage List;
- Commonwealth Heritage List;
- Register of the National Estate (non-statutory);
- NSW State Heritage Register;
- Richmond Valley Council LEP Heritage Schedule;
- Royal Australian Institute of Architects (RAIA) 20<sup>th</sup> Century Register of Significant Buildings (non-statutory); and
- The Register of the NSW National Trust of Australia (non-statutory).

Evans Head Memorial Aerodrome is listed on the following heritage registers:

- NSW State Heritage Register; and
- Listed on the Richmond Valley Council LEP 2010 - Heritage Schedule.

### 5.2 NSW Heritage Act, 1977 Obligations

The Aerodrome is listed on the NSW State Heritage Register and its management has to comply with the legislative implications of a NSW State Heritage Register listing and its governing Heritage Act (the *NSW Heritage Act, 1977*).

The implications of listing on the State Heritage Register are as follows:

- The NSW Heritage Council becomes the joint consent authority with the local Council (RVC) for proposals which may affect the site's significance;
- If proposed works are likely to disturb an archaeological relic, an application for a Section 60 Excavation Permit will need to be made to the NSW Heritage Council; and
- An application under Section 60 of the Act must be made to the NSW Heritage Council for any works within the site or changes to the site's use (see below for more detail).



*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

Specifically, the Heritage Act prescribes that approval from the NSW Heritage Council is required for the following types of works:

- Demolish the building or work;
- Damage or despoil the place, precinct or land, or any part of the place, precinct or land;
- Move, damage or destroy the relic or moveable object;
- Excavate any land for the purpose of exposing or moving the relic;
- Carry out any development in relation to the land on which the building, work or relic is situated, the land that comprises the place, or land within the precinct;
- Alter the building, work, relic or moveable object;
- Display any notice or advertisement on the place, building, work, relic, moveable object or land, or in the precinct; or
- Damage or destroy any tree or other vegetation on or remove any tree or other vegetation from the place, precinct or land.

The proposed construction of dwellings on the residential allotments fall under the category of “Carry out any development in relation to the land”.

As such, the proposed Development triggers the need for NSW Heritage Council Approval, via Section 60 Application accompanied by a Statement of Heritage Impact.

### **5.3 Land Covenants**

All of the lots have positive covenants on their land to ensure that the adaptation of the this land for residential purposes does not in any way impede the current or future operation of the aerodrome.

Specifically, the covenant (full document attached as Appendix A) states that:





**3 Terms of Positive Covenant Thirdly referred to in the abovementioned Plan**

Any application for a construction certificate for a dwelling on the subject Lot must address and provide for in that application the following acoustic measures:

- (1) Acoustic wall and ceiling insulation
- (2) Air-tight door and window seals.

The servient tenement will keep and maintain these items in good condition and in a proper state of repair to the satisfaction of Richmond Valley Council.

**4 Terms of Easement for Aerodrome Emissions Fourthly referred to in the above mentioned Plan**

Full and free right for every person who is at any time entitled to an estate or interest in possession in the land herein indicated as the dominant tenement or any part thereof with which the right shall be capable of enjoyment, and every person authorised by that person, from time to time and at all times to continue to operate the Evans Head memorial aerodrome and to emit noise and vibration in accordance with the conditions of any planning permit, licence or approval governing the operational parameters of the aerodrome across, above and through the land herein indicated as the servient tenement.

The owner of the lot burdened must not make, issue or commence (or allow to be made, issued or commenced on their behalf) any:

- a) Complaint or objection to any authority; or
- b) Claim,

in relation to any noise or vibration emitted from the land herein indicated as the dominant tenement in so far as the aerodrome is operating in accordance with any planning permit, licence or approval governing the operational parameters thereof.

## 6 Proposed Works

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### 6.1 Preamble

This section outlines the scope of the proposed development at Evans Head Memorial Aerodrome. It also discusses the purpose and need of the works.

### 6.2 General Description of Works

Development consent is sought to construct residential houses and associated landscaping on 15 of the 20 residential lots along Currajong Street. The residential subdivision was approved in 2018 – consent is now sought for construction of the dwellings.

### 6.3 Scope of Works

Each of the 15 residential lot owners has supplied Ainsworth Heritage with the designs for their residential dwelling (see Appendix B – Complete Set Residential Lot Dwelling Designs). The designs are summarised on the following table:

Lot #	Built form square meterage	# storeys	External Wall Material	Roof Material	Roof Pitch	Acoustic Treatment proposed in designs	Additional built features
2	493.82m <sup>2</sup>	2 x 2-storey townhouse	Horizontal timber cladding	Corrugated roof sheeting	Approx 20%	None submitted	2 x pools
3	230m <sup>2</sup>	Single storey	Brick veneer	Colourbond	Approx 20%	None submitted	N/A
4	283.4m <sup>2</sup>	Single storey	Rendered brick	Tiled roof	Approx 20%	None submitted	N/A
5	270.18m <sup>2</sup>	Single storey	Rendered brick	Tile	25%	None submitted	Pool and shed
6	265m <sup>2</sup>	Single storey	Rendered brick	Colourbond	20%	None submitted	Pool and Shed
8	353.7m <sup>2</sup>	Single storey	Rendered brick walls	Colourbond roof sheeting	Approx 20%	None submitted	N/A
10	226.65m <sup>2</sup>	Single storey	Face brick with feature cladding to front elevation	Tiled roof	25%	None submitted	N/A
11	264m <sup>2</sup>	Single storey	Face brick work	Concrete tiles	Approx 20%	None submitted	Swimming pool

*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

Lot #	Built form square meterage	# storeys	External Wall Material	Roof Material	Roof Pitch	Acoustic Treatment proposed in designs	Additional built features
12	288m <sup>2</sup>	Single storey	Brick	Colourbond	20%	None submitted	N/A
13	208.79m <sup>2</sup>	Single storey	Face brick work	Sheet metal	20%	None submitted	N/A
14	312m <sup>2</sup>	Single storey	Rendered brick	Colourbond	Detail not supplied	None submitted	N/A
17	335m <sup>2</sup>	Single storey	Brick	Tiled roof	Detail not supplied	None submitted	N/A
18	414.56m <sup>2</sup>	Single storey	Face brick with double brick stone feature wall to front elevation; side and rear elevations clad horizontally and vertically	Colourbond	5%	None submitted	N/A
19	412.82m <sup>2</sup>	Single storey	Face brick with double brick stone feature wall to front elevation; side and rear elevations clad horizontally and vertically	Colourbond	5%	None submitted	N/A
20	502.32m <sup>2</sup>	Double storey	Rendered brick	Colourbond	3%	None submitted	2 x pools

#### 6.4 Response of the Design to Surrounding Area

The designs of the residential lots represent typical suburban style and finishes similar to those in the residential area directly opposite the site. The operational area of the aerodrome is buffered visually and physically by a large area of non-operational land between the approved residential subdivision and the operational aerodrome.

#### 6.5 Additional Acoustic Treatments

The proposed development is located outside of the 20 ANEF Contour for the Aerodrome, which means that, in accordance with the Australian Standard (AS 2021-2000: Acoustics -



Aircraft noise intrusion - Building siting and construction), ***no additional noise control treatments to the buildings are required.*** Notwithstanding, a legal covenant has been placed on the subdivision of these blocks which requires Richmond Valley Council to issue a Construction Certificate only if each residence has:

- Acoustic wall (exterior walls only) and ceiling treatment; and
- Airtight door (external doors only) and window seals.



## 7 Impact Assessment

This section of the report assesses the impact of the construction of the residences on the approved subdivided lots at Currajong Street.

### 7.1 Assessment of Impact Against Significance

Aspect of Significance	NSW Heritage Register citation	Potential Impact of Works on Significance
Historic	<p>The item is historically significant because of its role as No 1 Bombing and Gunnery School (BAGS) for the Empire Air Training Scheme (EATS) which was an enormous Commonwealth undertaking to train air crew and personnel to assist the allies in World War II.</p> <p>It was also the home to over 5000 RAAF personnel who trained there during WW II for active service in Australia and overseas. More than a 1000 of these lost their lives during training and in active service overseas.</p>	<p>The residential subdivision is already approved and the construction of houses on the residential allotments will not erode the significance or impact on the historical significance of the aerodrome.</p> <p>No impact</p>
Associative	<p>The item is historically significant because of its association with Sir Valston Hancock and was the site of 17 Bellman Hangars (only one remains in its original location). The hangars were designed and built under the guidance of Sir Valston Hancock, Director of Works for the RAAF at the time. He subsequently became its commanding officer.</p> <p>The item also has associations with the USAAF whose personnel trained and served with Australian RAAF personnel. A number of B-25 bombers landed or crash-landed near Evans Head.</p>	<p>The residential subdivision is already approved and the construction of houses on the residential allotments will not erode the significance or impact on the associative significance of the aerodrome.</p> <p>No impact</p>
Social	<p>The item is socially significant because the aerodrome is of great importance to surviving Australian RAAF personnel that served at Evans Head and is a legacy to their families and to the personnel of other countries who were trained or based at Evans Head, including those from the UK, Holland, the USA and Canada.</p> <p>The aerodrome is a significant landmark from WWII and has strong connections to the people of Evans Head, to the people of the north coast region, and to the other major surviving aerodromes and associates sites in NSW.</p>	<p>The residential subdivision is already approved and the construction of houses on the residential allotments will not erode the social significance of the aerodrome. The approved subdivision is located in an inoperative area of the aerodrome well away from areas used for commemoration.</p>

Aspect of Significance	NSW Heritage Register citation	Potential Impact of Works on Significance
	<p>The associated sites and structures in Evans Head (refer to "Further Comments") are some of the more significant remaining landmarks from that era which visitors seek out during their visits to Evans Head and which are examples of the main features of buildings and sites that characterised the RAAF Base at the time.</p> <p>The presence of the RAAF during and after wartime largely contributed to the growth of the town with many of the personnel staying on within the village after the RAAF disbanded the bombing and gunnery school. The association of the aerodrome and the town form an important part of the village's cultural identity. (refer to The Evans Head Village Strategy Draft 2000).</p>	No impact
Aesthetic	<p>The item is aesthetically significant because of the landmark qualities. Its sheer size gives it a powerful sense of place and its proximity to the Evans Head village and the coastline emphasise its strategic location and the scope of the RAAF Base during the war. It is one of the few remaining large coastal sites which retains some sense of war operations.</p> <p>The aerodrome was constructed with four runways that intersect each other. This was to accommodate aircraft landing at the site regardless of wind or weather conditions. A design using three runways or more has only been applied to the larger aerodromes such as those based in Sydney, Coffs Harbour, Dubbo, Moruya, Nambucca, Temora and Tocumwal.</p> <p>The design of the Bellman Hangar was the Australian industry solution to the steel shortage during WWII. Steel was an essential source primarily used for the production of armaments and munitions and although used in buildings, it was preferred for larger structures.</p> <p>As a result, the Bellman Hangar was produced and is an example of the earliest prefabrication techniques for the construction of hangars for wartime operations. (Refer Brew, 2001).</p>	<p>The area of the approved subdivision has been un-operational for decades and is located well away from the operation aerodrome with its distinctive 4 runways. The subdivision has been designed to not include allotments over the area where the runway sued to exist.</p> <p>Low impact with mitigation measures in place.</p>
Scientific	The item is technically and research significant because of the technical innovations and the role of the RAAF Base both of which made important	The subject site retains very little historic fabric and due to the site remediation

Aspect of Significance	NSW Heritage Register citation	Potential Impact of Works on Significance
	<p>contributions to Australia’s effort in the WWII.</p> <p>The prefabricated Bellman Hangar and various accommodation buildings represent significant technical innovation and adaptation for that period. While there are other modified Bellman hangars in Australia, the only remaining hangar at Evans Head Aerodrome was one of the first to be built in Australia. The other structures include the Scout Hall and Tuck Shop which are good examples of the design and are in good condition, although they have been relocated.</p> <p>The role of the RAAF Base, the aerodrome, its history and its structures is a potential subject for High School Students. The Evans Head Memorial Aerodrome Committee and the Evans Head Community School are currently discussing the potential for such a program.</p>	<p>works, which removed 100-200ml of topsoil across the site.</p> <p>No impact.</p>
Rarity	<p>The item is rare in relation to its unique role as the primary bombing and gunnery school under the EATS. This has been identified in a thematic study conducted which surveyed the World War II aerodromes and associated sites in NSW (refer Brew, 2001).</p> <p>Its future protection and management is essential in terms of it being one of the largest WWII aerodrome sites in the State and its significance in the history of defence in Australia.</p>	<p>There are no built elements within the subject allotments which constitute rare items in the state or in Australia within the subject site,</p> <p>No impact</p>
Representativeness	<p>The item represents an important class of WWII aerodromes in NSW because of its size, strategic location and its pivotal role in the training of RAAF personnel for the war effort.</p>	<p>The aerodrome will retain its representative value as an example of a World War II RAAF training base.</p> <p>No impact.</p>

## 7.2 Conclusion

The residential subdivision of the subject has already been approved as appropriate development for these land parcels. This Section 60 represents the subsequent stage of design for the lots in question. The lots represent standard suburban styles and finishes



seen across the village of Evans Head thus they visually fit in with the adjacent residential area.

Despite the Australian Standard relating to Acoustics requiring no specific noise abatement treatments (as the site is outside the Aerodrome's 20 ANEF contour), the lots have covenants on their titles requiring additional acoustic treatments that the building's must comply with to gain their construction certificates. These noise strategies will ensure that the development actively facilitates the ongoing aviation function of the aerodrome and thus contributes to the long-term conservation of the site's primary significance.

Provided that the proposed layout, form, finish and noise management measures of the design are implemented, this Statement of Heritage Impact concludes that:

- The proposed development is appropriate to the site's heritage significance and responds to the site's values through its design;
- The proposed development has been planned within the framework of, and in accordance with, the site's Plan of Management; and
- The proposed development facilitates continued aviation use of the aerodrome and can co-exist in a mutually non-exclusive relationship with the active aerodrome.





## 8 Recommendations and Management

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This section outlines management policies that will ensure that minimal possible impact occurs to Evans Head Memorial Aerodrome throughout the project

As the subdivision has already been approved and the proposed residential development will have low-no impact on the site's heritage significance, this report makes only one recommendation that should form part of the consent conditions:

- Richmond Valley Council must, before issuing construction certificates for each dwelling, ensure that it has been constructed in accordance with the land title covenants. Specifically, each dwelling must include:
  - Acoustic wall (exterior walls only) and ceiling treatment; and
  - Airtight door (external doors only) and window seals.



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*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

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NAA; A705, 171/106/114 Part 1. 1945 – 1949. *DWB – Property – Evans Head NSW – Bombing Ranges and Aerodrome Extensions – Disposal of Surplus Assets*

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*Ainsworth Heritage – Evans Head Memorial Aerodrome Retirement Village: Statement of Heritage Impact*

## Appendix A– Land Covenant Details





CHRIS ABBOTT SURVEYING PTY LTD  
P.O. Box 633  
Ballina 2478

ABN: 23 519 493 925  
GPO Box 15  
Sydney NSW 2001  
DX 17 SYDNEY  
P: 1300 052 637  
W: [www.nswlrs.com.au](http://www.nswlrs.com.au)

Date: 3/12/2018

PLAN REGISTRATION NOTICE

THE UNDERMENTIONED PLAN WAS REGISTERED ON 3/12/2018

PLAN NUMBER: DP1248978

YOUR REFERENCE: 16085

REGISTRAR GENERAL

Instrument setting out terms of Easements or Profits à Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919

(Sheet 1 of 4 Sheets)

**DP1248978**

Plan of Subdivision of Lot 4 in DP1238103 covered by Subdivision Certificate No. SC2019-0006

Full name and address  
of owner of the land:

Albatross Point Pty Ltd  
14A William Street  
RAYMOND TERRACE NSW 2324

**PART 1 (Creation)**

Number of item shown in the intention panel on the plan	Identity of easement, profit à prendre, restriction or positive covenant to be created and referred to in the plan.	Burdened lot(s) or parcel(s):	Benefited lot(s), road(s), bodies or Prescribed Authorities:
1	Easement to Drain Sewage Variable Width (S4)	Lot 1	Richmond Valley Council
2	Easement to Drain Water Variable Width (W)	Lot 1	Richmond Valley Council
3	Positive Covenant	Lots 1-20	Richmond Valley Council
4	Easement for Aerodrome Emissions (B)	Lots 1-20 (ENTIRE LOT)	Lot 3 DP1217074

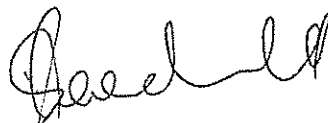
**PART 2 (Terms)**

**1. Terms of Easement Firstly referred to in the above mentioned Plan**

Full and free right for the body in whose favour this easement is created, and every person authorised by it, from time to time and at all times by means of pipes to drain sewage and other waste material and fluid in any quantities across and through the land herein indicated as the servient tenement, together with the right to use, for the purposes of the easement, any line of pipes already laid within the servient tenement for the purpose of draining sewage or any pipe or pipes in replacement or in substitution therefor and where no such pipes exists, to lay, place and maintain a line of pipes of sufficient internal diameter beneath or upon the surface of the servient tenement and together with the right for the body in whose favour this easement is created and every person authorised by it, with any tools, implements or machinery, necessary for the purpose, to enter upon the servient tenement and to remain there for any reasonable time for the purpose of laying, inspecting, cleansing, repairing, maintaining, or renewing such pipe line or any part thereof and for any of the aforesaid purposes to open the soil of the servient tenement to such an extent as may be necessary provided that the body in whose favour this easement is created will take all reasonable precautions to ensure as little disturbance as possible to the surface of the servient tenement.

**2 Terms of Easement Secondly referred to in the above mentioned Plan**

Those terms set out in Part 3 of Schedule 4A of the Conveyancing Act 1919.





**Instrument setting out terms of Easements or Profits à Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919**

(Sheet 2 of 4)

**DP1248978**

Plan of Subdivision of Lot 4 in DP1238103 covered by Subdivision Certificate No SC2019-0006

**Full name and address of owner of the land:**

**Albatross Point Pty Ltd  
14A William Street  
RAYMOND TERRACE NSW 2324**

**3 Terms of Positive Covenant Thirdly referred to in the abovementioned Plan**

Any application for a construction certificate for a dwelling on the subject Lot must address and provide for in that application the following acoustic measures:

- (1) Acoustic wall and ceiling insulation
- (2) Air-tight door and window seals.

The servient tenement will keep and maintain these items in good condition and in a proper state of repair to the satisfaction of Richmond Valley Council.

**4 Terms of Easement for Aerodrome Emissions Fourthly referred to in the above mentioned Plan**

Full and free right for every person who is at any time entitled to an estate or interest in possession in the land herein indicated as the dominant tenement or any part thereof with which the right shall be capable of enjoyment, and every person authorised by that person, from time to time and at all times to continue to operate the Evans Head memorial aerodrome and to emit noise and vibration in accordance with the conditions of any planning permit, licence or approval governing the operational parameters of the aerodrome across, above and through the land herein indicated as the servient tenement.

The owner of the lot burdened must not make, issue or commence (or allow to be made, issued or commenced on their behalf) any:

- a) Complaint or objection to any authority; or
- b) Claim,

in relation to any noise or vibration emitted from the land herein indicated as the dominant tenement in so far as the aerodrome is operating in accordance with any planning permit, licence or approval governing the operational parameters thereof.

Name of Person Empowered to Release Vary or Modify Easement **firstly** referred to in the Plan.:

**Richmond Valley Council**

Name of Person Empowered to Release Vary or Modify Easement **secondly** referred to in the Plan.

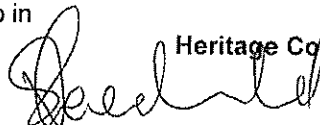
**Richmond Valley Council**

Name of Person Empowered to Release Vary or Modify Positive Covenant **thirdly** referred to in the Plan

**Richmond Valley Council**

Name of Person Empowered to Release Vary or Modify Restrictions on the Use of Land **fourthly** referred to in the Plan

**Heritage Council of NSW**



**Instrument setting out terms of Easements or Profits à Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919**

(Sheet 3 of 4)

**DP1248978**

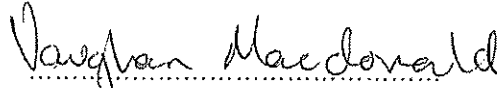
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**Full name and address of owner of the land:**

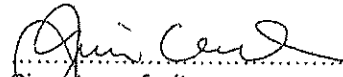
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14A William Street  
RAYMOND TERRACE NSW 2324**

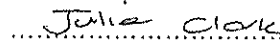
Richmond Valley Council by its authorised delegate  
Pursuant to S377 of the Local Government Act 1919

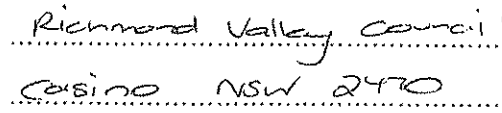
  
Signature of delegate

  
Name of delegate

I certify that I am an eligible witness and that the delegate signed in my presence:

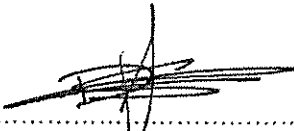
  
Signature of witness

  
Name of witness

  
Address of witness

Certified correct for the purposes of the Real Property Act 1900 and executed on behalf of the corporation named Below by the authorized person(s) whose signature(s) Appears(s) below pursuant to the authority specified.

Corporation: Albatross Point Pty Ltd (ACN 615 752 273)  
Capacity:  
Authority: section 127 of the Corporations Act 2001

  
Signature of authorised person:  
Office held: Sole Director/Secretary

David Murray Sharpe  
Name of authorised person

Instrument setting out terms of Easements or Profits à Prendre intended to be created or released and of Restrictions on the Use of Land or Positive Covenants intended to be created pursuant to Section 88B Conveyancing Act 1919

(Sheet 4 of 4)

**DP1248978**

Plan of Subdivision of Lot 4 in DP1238103 covered by Subdivision Certificate No SC2019-0006

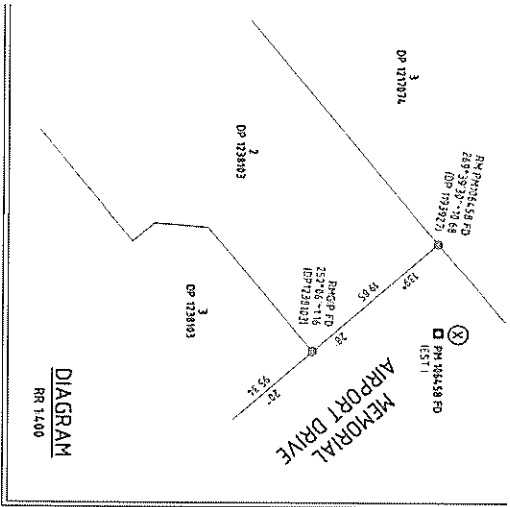
Full name and address of owner of the land:

**Albatross Point Pty Ltd  
14A William Street  
RAYMOND TERRACE NSW 2324**

Mortgagee under Mortgage No. AN 239802  
Signed at East Maitland this 9 day of November  
2018 for National Australia Bank Limited ABN 12 004 044 937  
by Shane Hindle  
appointed Attorney under Power of Attorney No. 39 Book 4512  
Attorney Signature, Level 2 Attorney [Signature]  
Witness Signature [Signature]  
Witness Name Karen La Fon  
Witness Address 15 Mitchell Dr East Maitland NSW 2323

REGISTERED  03.12.2018

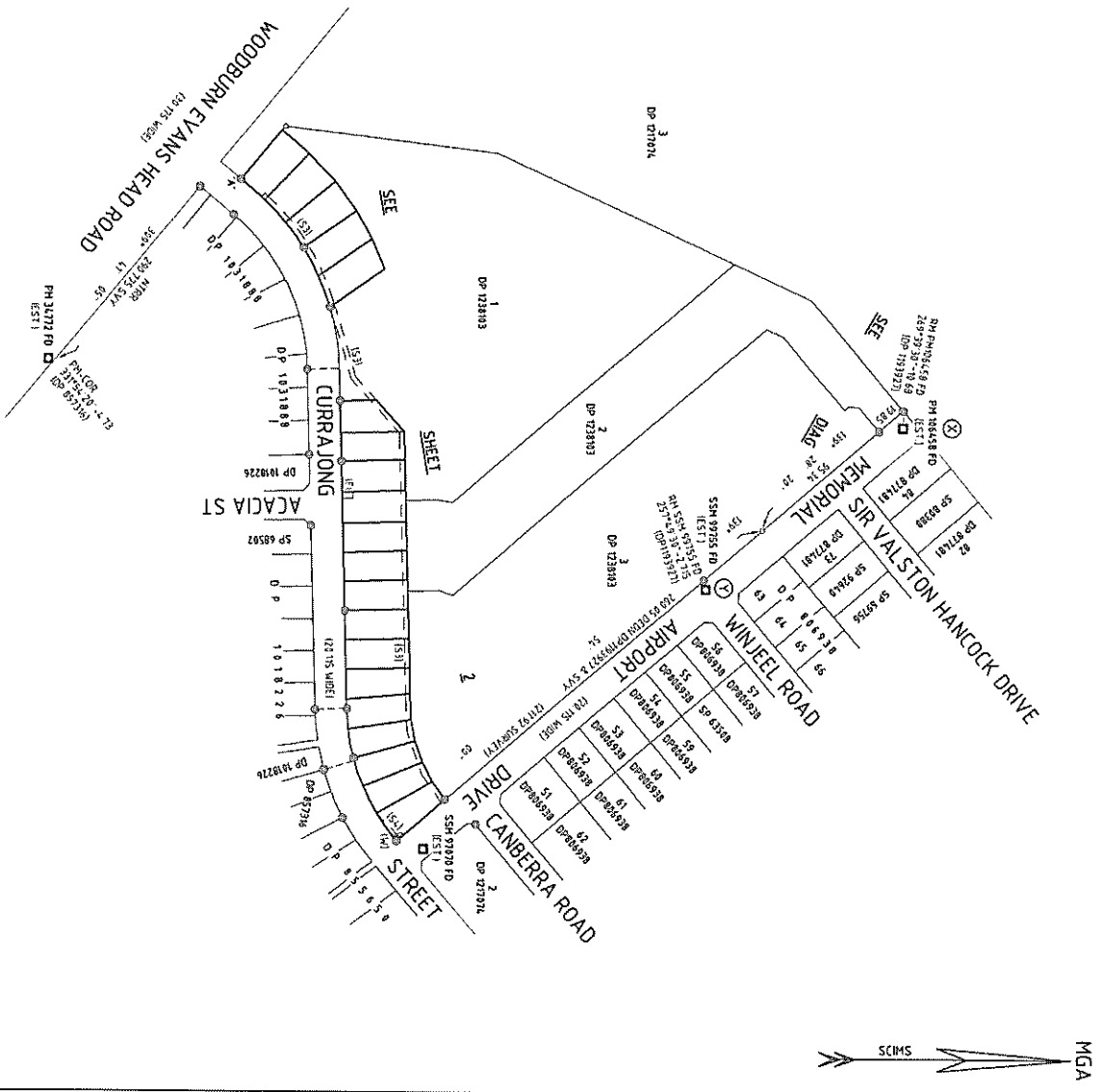
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(S) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE WIDTH DP 1238103  
 (E) EASEMENT FOR MALL TO DRAIN ELECTRICAL INSTALLATION 4.7 WIDE (LAN 33380)  
 (S) EASEMENT TO DRAIN SEWAGE VARIABLE WIDTH  
 (W) EASEMENT TO DRAIN WATER VARIABLE WIDTH  
 (R) ROAD WIDENING

COMPARISONS & CONNECTIONS

FROM	TO	BEARING	DISTANCE	SOURCE
PM 106458	SSM 99795	141°41'58"	57.841	MGA GRID DIST
SSM 99795	SSM 97070	138°59'46"	241.716	MGA GRID DIST
SSM 97070	PM 34712	193°59'36"	741.724	SVY
SSM 97070	PM 106458	209°04'08"	383.812	MGA GRID DIST
PM 34712	PM 106458	353°01'39"	637.652	MGA GRID DIST
PM 34712	CORNER A	319°55'46"	316.815	SVY



COORDINATE SYSTEM

MARK	EASTING	NORTHING	CLASS	ORDER	METHOD	STATE
PM 12472	54130.541	6728.819	A	1		SCMS
PM 106458	54130.324	6728.527	A	1		SCMS
SSM 97070	54130.324	6728.527	B	2		SCMS
SSM 99795	54130.324	6728.527	B	2		SCMS

DATE OF SURVEY COMPLETION: 13-JUL-2018  
 MGA ZONE: 56  
 MGA DATUM: GDA94  
 CONVERSION: SF 0.9998415

PREPARED BY: CHRISTOPHER ASHFUR ABBOTT  
 DRAWN BY: 2741 ALDOUS 2018  
 REFERENCE: 10035 (40)

PLAN NUMBER: PLAN OF SUBDIVISION OF LOT 4 IN DP 1238103

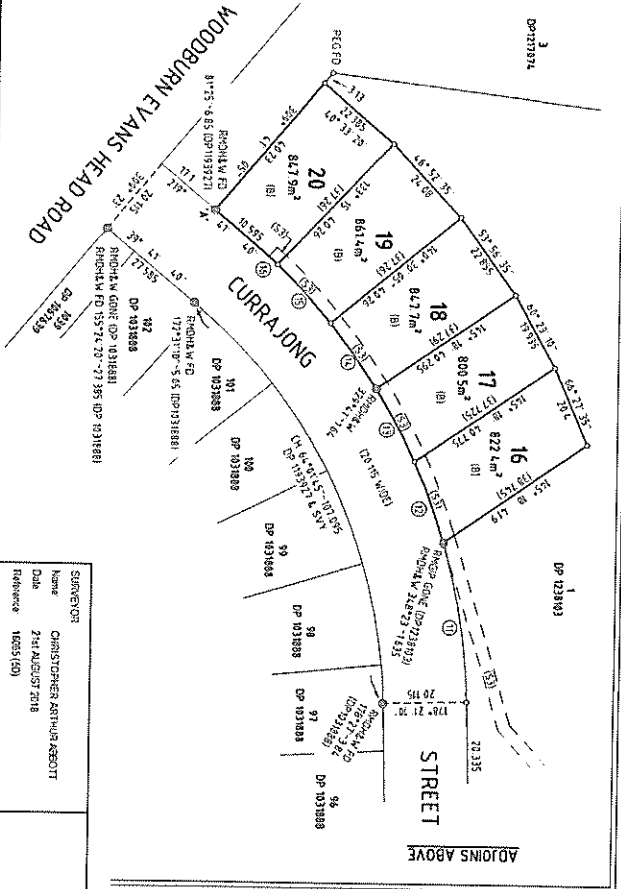
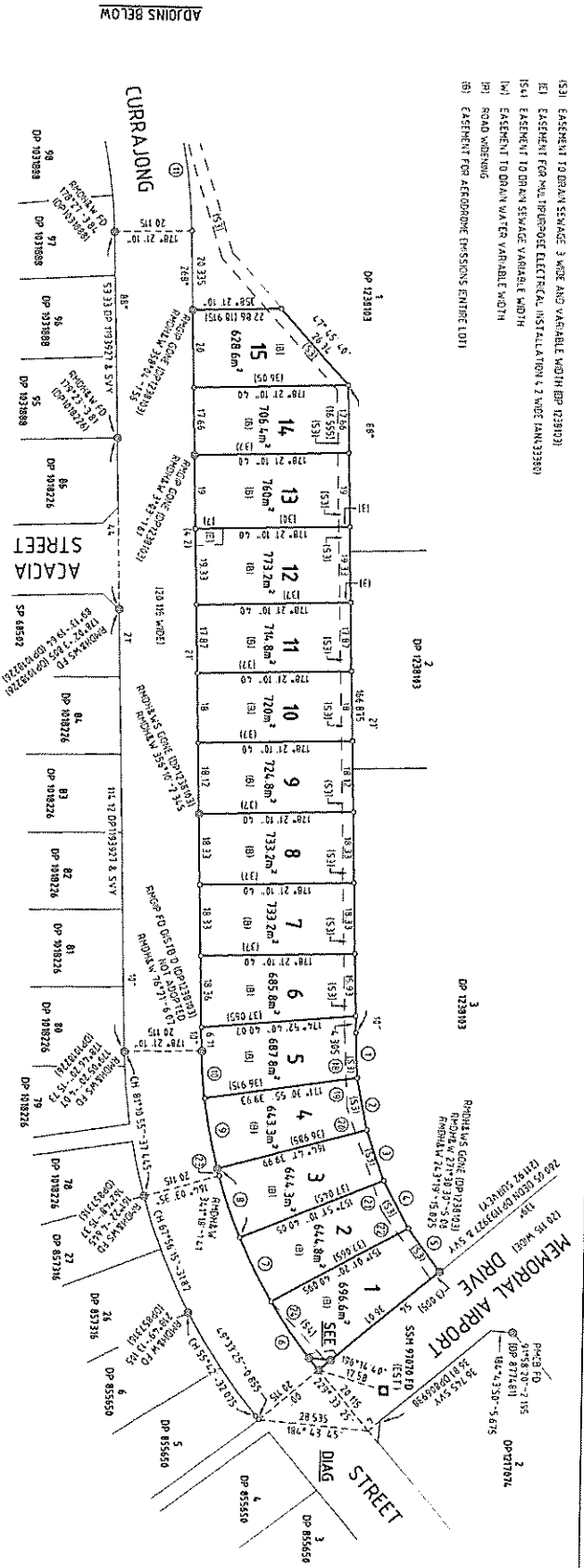
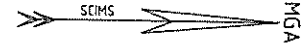
REGISTRAR: RICHMOND VALLEY  
 LOCATION: EVANS HEAD  
 REGISTRATION DATE: 1/2000  
 LENGTH AND WIDTH: 03/12/2018

REGISTERED: 03/12/2018

DP1248978

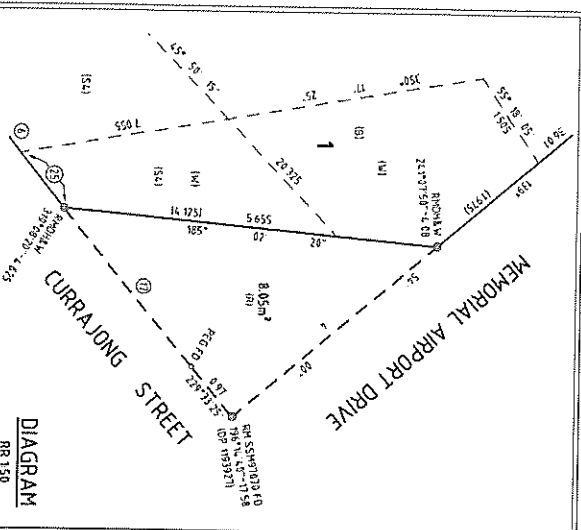
WARNING: CREASING OR FOLDING WILL LEAD TO REFLECTION

- MSA
- (S1) EASEMENT TO DRAIN SEWAGE 3 MERE AND VARIABLE WIDTH (DP 123802)
  - (E) EASEMENT FOR MULTIPURPOSE ELECTRICAL INSTALLATION 4.2 MERE (LANK3388)
  - (S4) EASEMENT TO DRAIN SEWAGE VARIABLE WIDTH
  - (M) EASEMENT TO DRAIN WATER VARIABLE WIDTH
  - (R) ROAD WORKING
  - (B) EASEMENT FOR AERODROME OBSTRUCTIONS (ENTIRE LOT)



SHORT & CURVED BOUNDARIES

LINE	BEARING	DISTANCE	ARC	RADIUS	NOTE
1	87°55'45"	117.1			
2	79°53'40"	134.65			
3	10°22'10"	134.65			
4	61°52'45"	134.65			
5	57°57'20"	134.65			
6	23°44'45"	174.1	17.425	100.885	
7	24°29'15"	18.435	18.43	109.885	
8	126°46'55"	18.435	18.43	109.885	
9	23°45'15"	18.43	18.435	109.885	
10	23°39'05"	17.24	17.245	109.885	
11	206°42'35"	38.9	39.04	150.145	
12	74°31'15"	20.645	20.64	150.145	
13	24°43'30"	19.485	19.5	150.145	
14	24°43'30"	19.485	19.5	150.145	
15	226°32'20"	18.485	18	150.145	
16	221°36'40"	3.265	3.265	150.145	
17	226°13'55"	3.805	3.805	150.145	
18	87°18'45"	12.805	12.805	150.145	
19	87°18'45"	12.805	12.805	150.145	
20	70°27'10"	7.655	7.655	150.145	
21	70°27'10"	7.655	7.655	150.145	
22	53°47'25"	4.545	4.545	150.145	
23	154°42'40"	1.655	1.655	150.145	
24	45°50'05"	2.144	2.144	150.145	
25	221°08'10"	1.605	1.605	150.145	




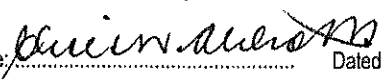
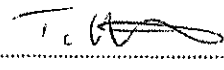
SUBJECT  
 Name: CHRISTOPHER ARTHUR ABBOTT  
 Date: 24 AUGUST 2018  
 Reference: 1605 (50)

PLAN OF SUBDIVISION OF  
 LOT 41 DP 123803

LGA: RICHMOND VALLEY  
 Local: EVANS HEAD  
 Section: 1500  
 Length: 800 METRES

REGISTERED  
 03.12.2018

DP1248978  
 RR 150

PLAN FORM 6 (2017)	DEPOSITED PLAN ADMINISTRATION SHEET	Sheet 1 of 3 sheets
Registered:  03.12.2018  Title System: TORRENS	<b>DP1248978</b>	Office Use Only  Office Use Only
<b>PLAN OF SUBDIVISION OF LOT 4 IN DP 1238103</b>	LGA: RICHMOND VALLEY Locality: EVANS HEAD Parish: RILEY County: RICHMOND	
<p style="text-align: center;">Survey Certificate</p> I, <u>CHRISTOPHER ARTHUR ABBOTT</u> of <u>CHRIS ABBOTT SURVEYING PTY LTD</u> <u>PO BOX 633 BALLINA NSW 2478</u> a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i> , certify that: *(a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i> , is accurate and the survey was completed on 21st AUG 2018  <del>*(b) The part of the land shown in the plan (*being/*excluding **</del> <del>_____</del> <del>_____ was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i>, the part surveyed is accurate and the survey was completed on _____ the part not surveyed was compiled in accordance with that Regulation or _____</del>  *(c) The land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2017</i> . Datum Line: <u>X - Y (MGA)</u> Type: *Urban/*Rural- The terrain is *Level-Undulating / *Steep-Mountainous.  Signature:  Dated: 21st AUG 2018 Surveyor Identification No: <u>281</u> Surveyor registered under the <i>Surveying and Spatial Information Act 2002</i>  *Strike out inappropriate words. **Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.	<p style="text-align: center;">Crown Lands NSW/Western Lands Office Approval</p> I, _____ (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given.  Signature: _____ Date: _____ File Number: _____ Office: _____	
<p style="text-align: center;">Plans used in the preparation of survey / compilation-</p> DP 1238103	<p style="text-align: center;">Subdivision Certificate</p> I, <u>TONY McATEER</u> *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein.  Signature:  Accreditation number: _____ Consent Authority: <u>RICHMOND VALLEY COUNCIL</u> Date of endorsement: <u>2 November 2018</u> Subdivision Certificate number: <u>SC2018-0006</u> File number: <u>DM2011/0223.03</u>  * Strike through if inapplicable.	
Statements of intention to dedicate public roads, create public reserves and drainage reserves, acquire / resume land.	Statements of intention to dedicate public roads, create public reserves and drainage reserves, acquire / resume land.	
Surveyor's Reference: 16085 (1D)	Signatures, Seals and Section 88B Statements should appear on <b>PLAN FORM 6A</b>	

PLAN FORM 6A (2017)

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 2 of 3 sheets

Registered:



03.12.2018

Office Use Only

Office Use Only

DP1248978

PLAN OF SUBDIVISION  
 OF LOT 4 IN DP 1238103

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
  - Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
  - Signatures and seals- see 195D Conveyancing Act 1919
  - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate Number: SG2019-0006  
 Date of Endorsement: 2 November 2019

LOT	SUB ADDRESS	ADDRESS	ROAD NAME	ROAD TYPE	LOCALITY
1		42	CURRAJONG	STREET	EVANS HEAD
2		44	CURRAJONG	STREET	EVANS HEAD
3		46	CURRAJONG	STREET	EVANS HEAD
4		48	CURRAJONG	STREET	EVANS HEAD
5		50	CURRAJONG	STREET	EVANS HEAD
6		52	CURRAJONG	STREET	EVANS HEAD
7		54	CURRAJONG	STREET	EVANS HEAD
8		56	CURRAJONG	STREET	EVANS HEAD
9		58	CURRAJONG	STREET	EVANS HEAD
10		60	CURRAJONG	STREET	EVANS HEAD
11		62	CURRAJONG	STREET	EVANS HEAD
12		64	CURRAJONG	STREET	EVANS HEAD
13		66	CURRAJONG	STREET	EVANS HEAD
14		68	CURRAJONG	STREET	EVANS HEAD
15		70	CURRAJONG	STREET	EVANS HEAD
16		78	CURRAJONG	STREET	EVANS HEAD
17		80	CURRAJONG	STREET	EVANS HEAD
18		82	CURRAJONG	STREET	EVANS HEAD
19		84	CURRAJONG	STREET	EVANS HEAD
20		86	CURRAJONG	STREET	EVANS HEAD

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT 1919,  
 AS AMENDED, IT IS INTENDED TO CREATE:



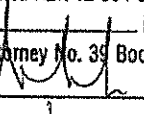
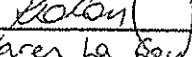
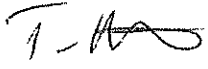
1. EASEMENT TO DRAIN SEWAGE VARIABLE WIDTH (S4)
2. EASEMENT TO DRAIN WATER VARIABLE WIDTH (W)
3. POSITIVE COVENANT
4. EASEMENT FOR AERODROME EMISSIONS (B) (ENTIRE LOT)

IT IS INTENDED TO DEDICATE AS PUBLIC ROAD:

1. ROAD WIDENING (R)

If space is insufficient use additional annexure sheet

Surveyor's Reference: 16085 (2G)

PLAN FORM 6A (2017)		DEPOSITED PLAN ADMINISTRATION SHEET		Sheet 3 of 3 sheets	
Registered:  03.12.2018		Office Use Only		Office Use Only	
PLAN OF SUBDIVISION OF LOT 4 IN DP 1238103		DP1248978			
Subdivision Certificate Number: <u>SL2017-0006</u>					
Date of Endorsement: <u>2 November 2018</u>					
<p>Executed by Albatross Point Pty. Ltd. (ACN 615 752 273) in accordance with Section 127 of the Corporations Act 2001 (Cth):</p> <p> David Murray Sharpe Sole Director (Secretary)</p> <p>Mortgagee under Mortgage No. <u>AN239802</u> Signed at <u>EAST maitland</u> this <u>9</u> day of <u>November</u> <u>2018</u> for National Australia Bank Limited ABN 12 004 044 937 by <u>Shane Hindle</u> its duly appointed Attorney under Power of Attorney No. 39 Book 4512 Attorney Signature, Level <u>2</u> Attorney  Witness Signature  Witness Name <u>Karen La Sau</u> Witness Address <u>15 Mitchell Dr East maitland NSW 2323</u></p> <p style="text-align: right;"></p>					
If space is insufficient use additional annexure sheet					
Surveyor's Reference: 16085 (3D)					

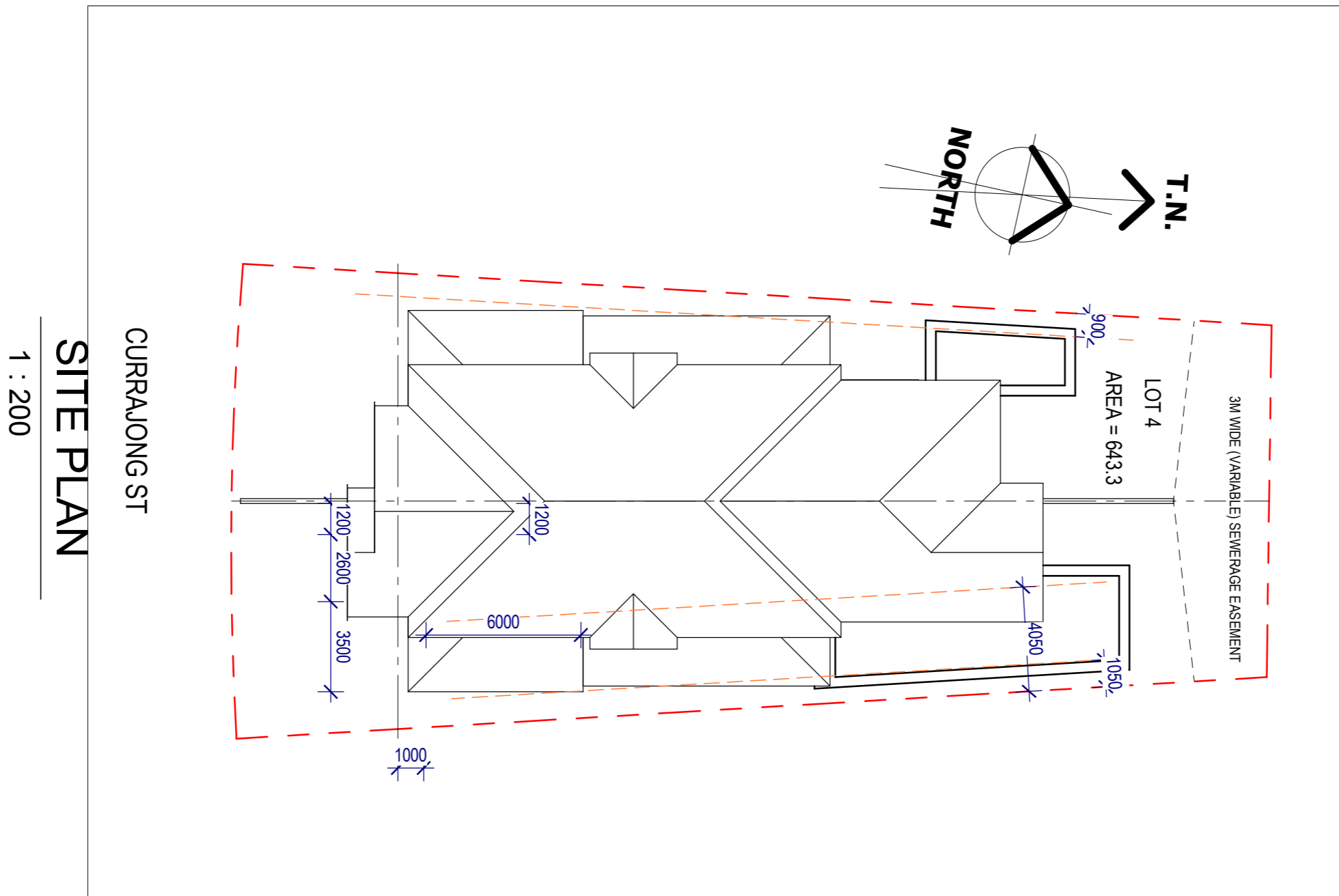


**Appendix B– Lots Plans (elevations and floor plans)**



# LAMONT RESIDENCE

<p>Brett Harley          ABN:16839331763          Builders License          No:101778C          22 Marigold Drive          Fairy Hill NSW 2470          Ph: 0429 321 440</p>	<p>Copyright Brett Harley          No part of these plans may be reproduced or          transmitted in any form without the written          permission of Brett Harley</p>	<p style="text-align: center;"><b>SKETCH PLAN</b> <b>884-C</b></p>	<p>ADDRESS:          LOT 2 DP 1248978          CURRAJONG ST          EVANS HEAD</p>	<p>CLIENT:          MR &amp; MRS LAMONT</p> <p>SHEET TITLE:          COVER SHEET</p>	<p>ISSUE DATE:          20-02-19</p> <p>SHEET NO:  <b>1</b></p>	
<p>PRINT DATE: 21/02/2019 5:51:37 PM</p>		<p>SCALE @ A3:</p>	<p>DESIGN: TB</p>	<p>DRW BY: TB</p>		



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 Builders License  
 No:101778C  
 22 Marigold Drive  
 Fairy Hill NSW 2470  
 Ph: 0429 321 440

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**SKETCH PLAN**  
**884-C**

ADDRESS:  
 LOT 2 DP 1248978  
 CURRAJONG ST  
 EVANS HEAD

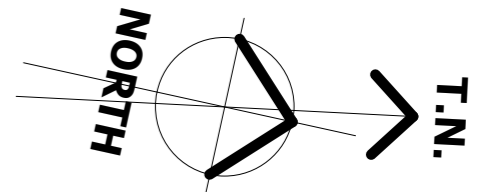
CLIENT:  
 MR & MRS LAMONT

ISSUE DATE:  
 20-02-19

SHEET TITLE:  
 SITE PLAN

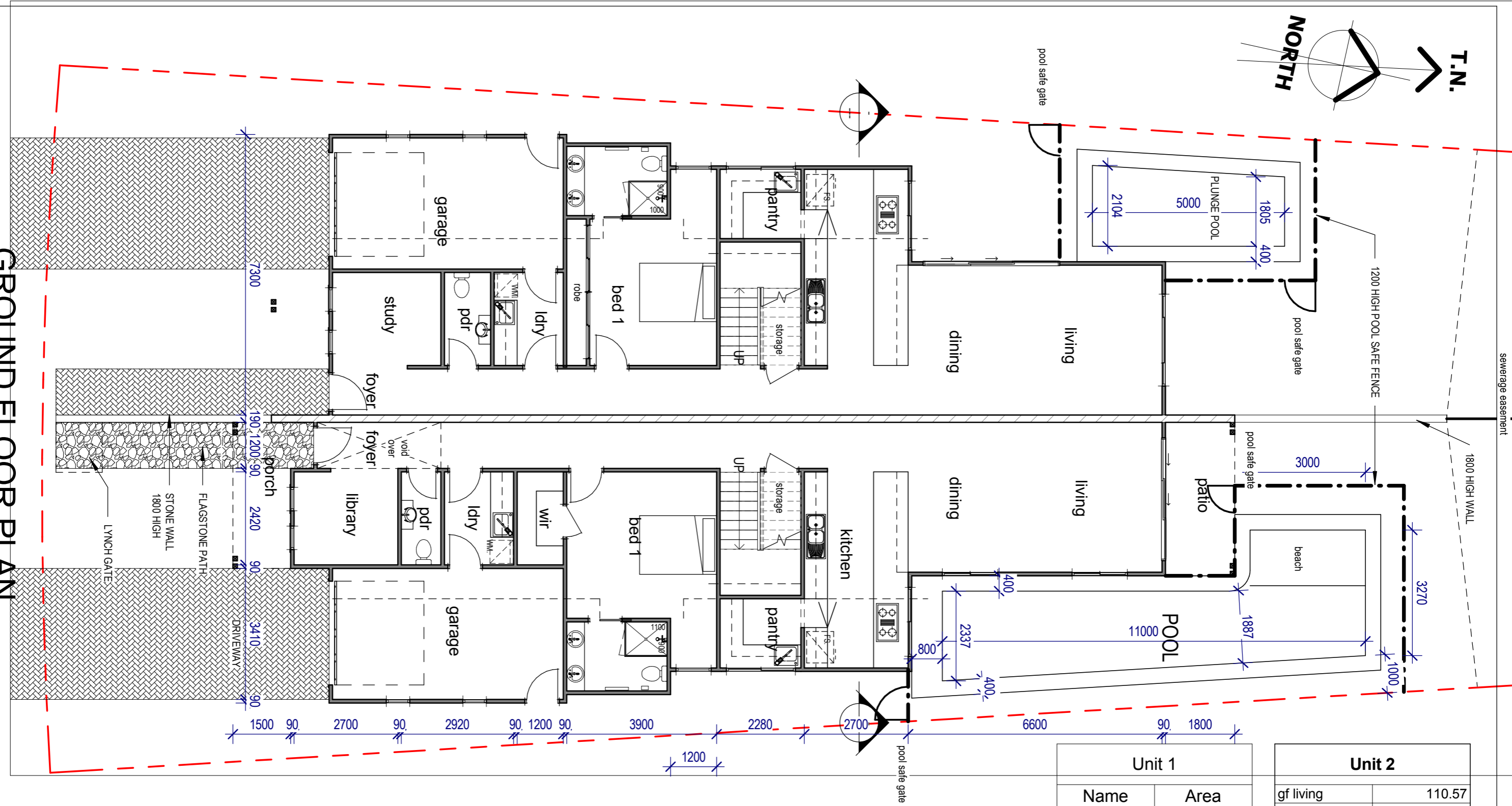
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PRINT DATE: 21/02/2019 5:51:38 PM    SCALE @ A3: 1 : 200    DESIGN: TB    DRW BY: TB



**GROUND FLOOR PLAN**

1 : 100



Unit 1	
Name	Area
ff living	105.90
garage	21.47
gf living	104.86
porch	1.40
<b>Grand total:</b>	<b>233.63</b>
<b>4</b>	

Unit 2	
gf living	110.57
ff living	97.78
garage	21.49
terrace	7.18
rear balcony	7.18
porch	6.42
front balcony	5.70
void	3.86
	<b>260.19</b>

**SKETCH PLAN**  
**884-C**

ADDRESS:  
**LOT 2 DP 1248978**  
**CURRAJONG ST**  
**EVANS HEAD**

CLIENT:  
**MR & MRS LAMONT**

ISSUE DATE:  
20-02-19

SHEET TITLE:  
**GROUND FLOOR PLAN**

SHEET NO:  
**3**

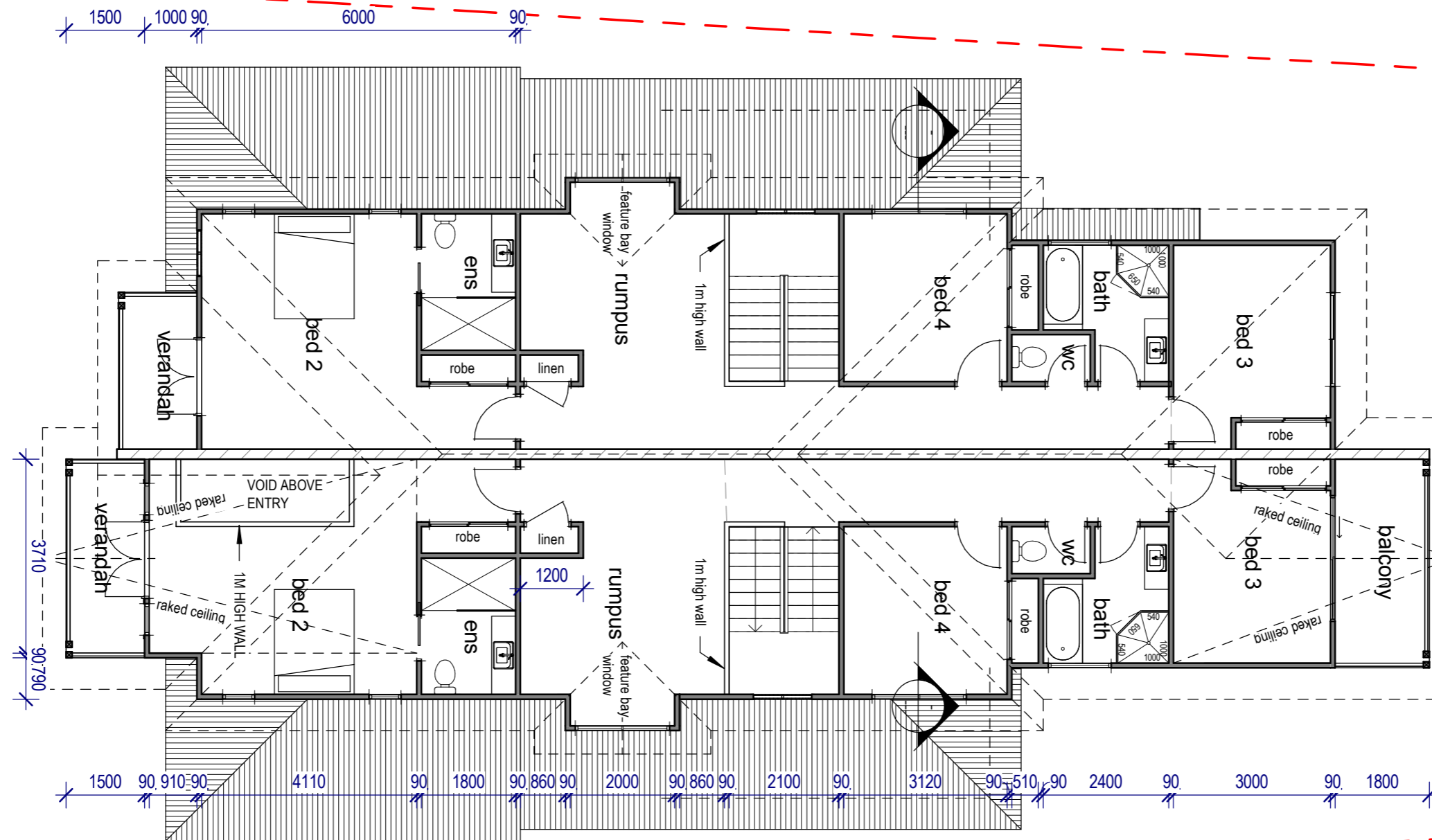
Brett Harley  
ABN:16839331763  
Builders License  
No:101778C  
22 Marigold Drive  
Fairy Hill NSW 2470  
Ph: 0429 321 440

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# FIRST FLOOR PLAN

1 : 100



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## SKETCH PLAN 884-C

ADDRESS:  
 LOT 2 DP 1248978  
 CURRAJONG ST  
 EVANS HEAD

CLIENT:  
 MR & MRS LAMONT

ISSUE DATE:  
 20-02-19

SHEET TITLE:  
 FIRST FLOOR PLAN

SHEET NO:  
**4**

PRINT DATE: 21/02/2019 5:51:40 PM SCALE @ A3: 1 : 100 DESIGN: TB DRW BY: TB



**ELEVATION A**

1 : 100



**ELEVATION B**

1 : 100

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 Fairy Hill NSW 2470  
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**SKETCH PLAN**  
**884-C**

ADDRESS:  
 LOT 2 DP 1248978  
 CURRAJONG ST  
 EVANS HEAD

CLIENT:  
 MR & MRS LAMONT

ISSUE DATE:  
 20-02-19

SHEET TITLE:  
 ELEVATIONS 1

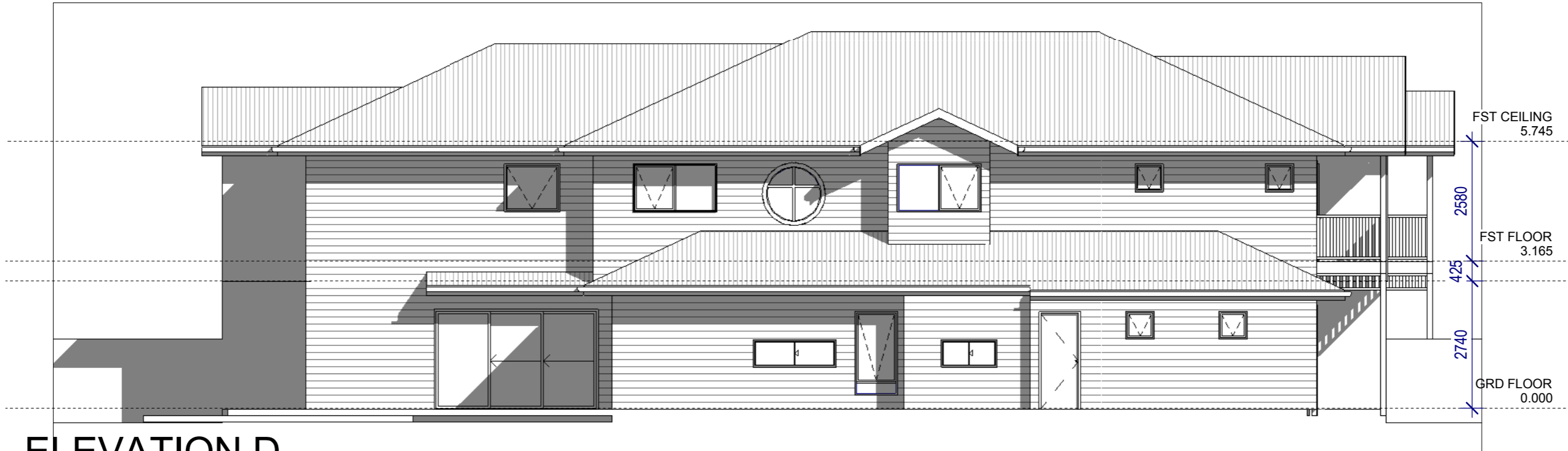
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**ELEVATION C**

1 : 100



**ELEVATION D**

1 : 100

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# Proposed siting of your Metricon home.

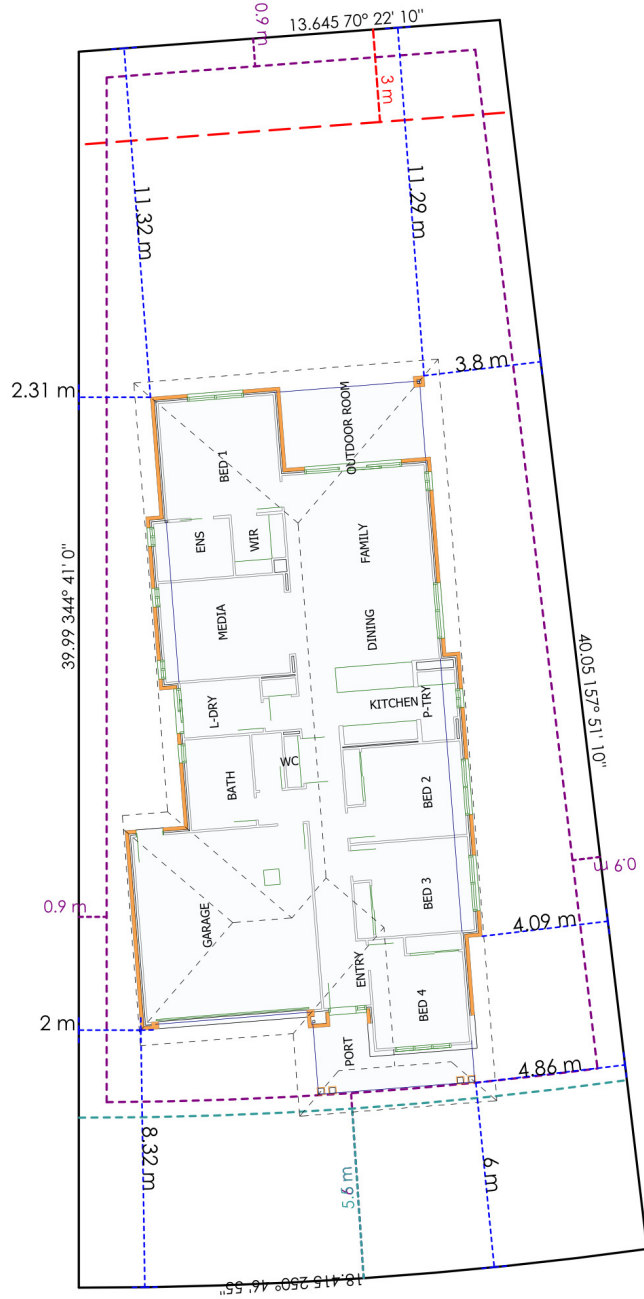


Metricon Homes Pty Ltd | Suite 20 Lvl 2, 238 Robina Town Centre Dve Robina 4226 | Phone: 07 5501 7200 | www.metricon.com.au

Customer: Laura & David Hamill  
 Site Address: lot 3 Currajong Street  
 Locality: EVANS HEAD (2473)  
 Home Design: Clara 23 Yale

Date: 4/12/2018  
 Estate:  
 State: NSW  
 SP Number:

Incomplete Sub:	Yes
Current Fencing:	
Ceiling Height:	m
Site Coverage:	32.93%
Site Area:	644.26 m2
Build Area:	212.16 m2



**Note:** GeoSite preferred siting is indicative only. Drafting will position home on contour survey with intent to meet driveway location/gradient requirements and site setback/excavation approval requirements where possible. A reason must be provided here if an alternative approach is required by the Customer.

Consultant: Rodney Moore

Email: RodneyMoore@metricon.com.au

Scale: 1:250 @ A4

Customer Signature (1)

Date (1)

Customer Signature (2)

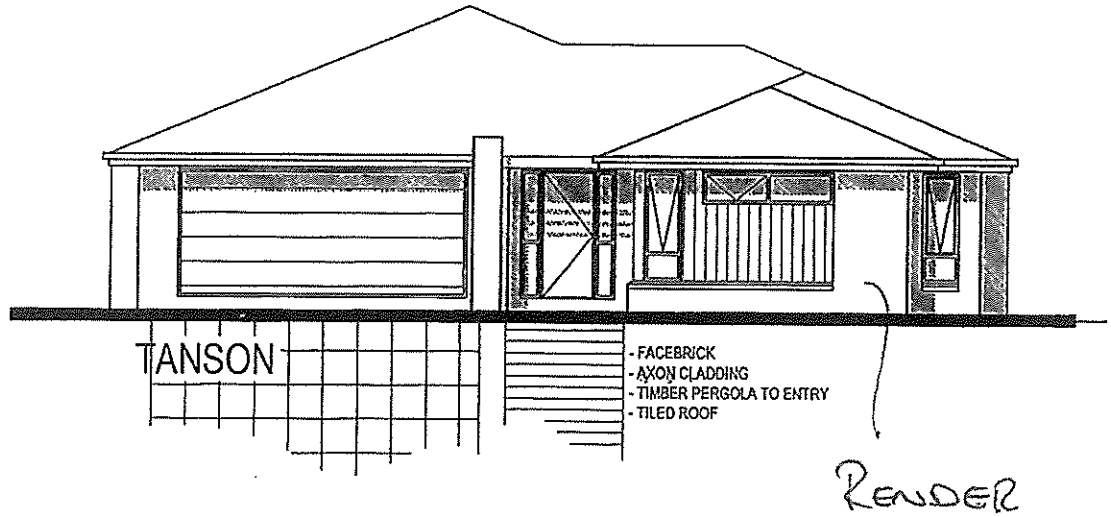
Date (2)

© GeoSite IT Pty Ltd

(Geo Plan ID: 79519)



facades to suit the austin, baywood, heydon, indigo, iluka, pen  
 based on the heydon design



RENDER FRONT & BAY & PAINT REST OF HOUSE

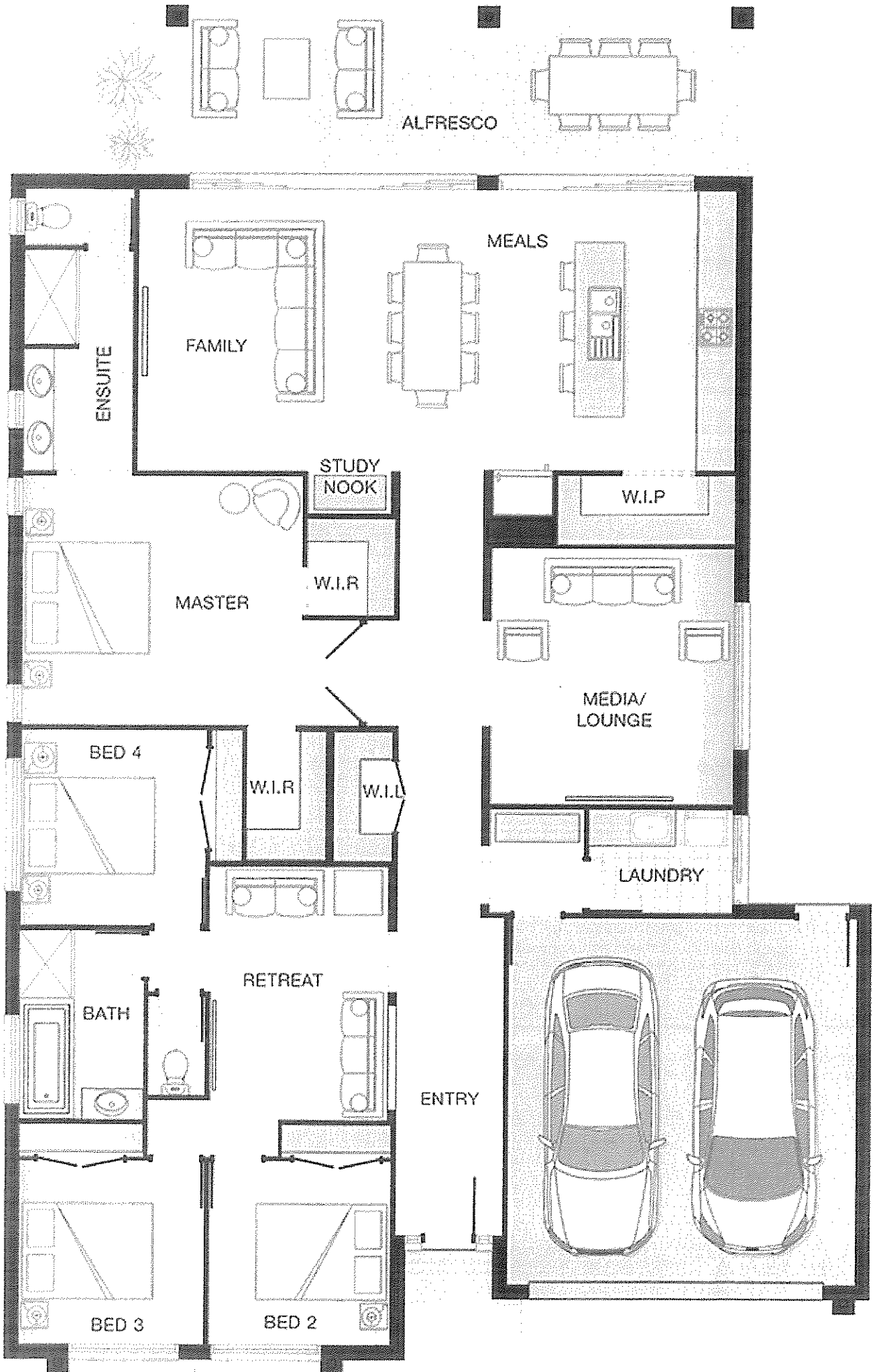
*ader*

DATE	REVISION	INITIAL
###/###/##	ISSUE	##.

ader

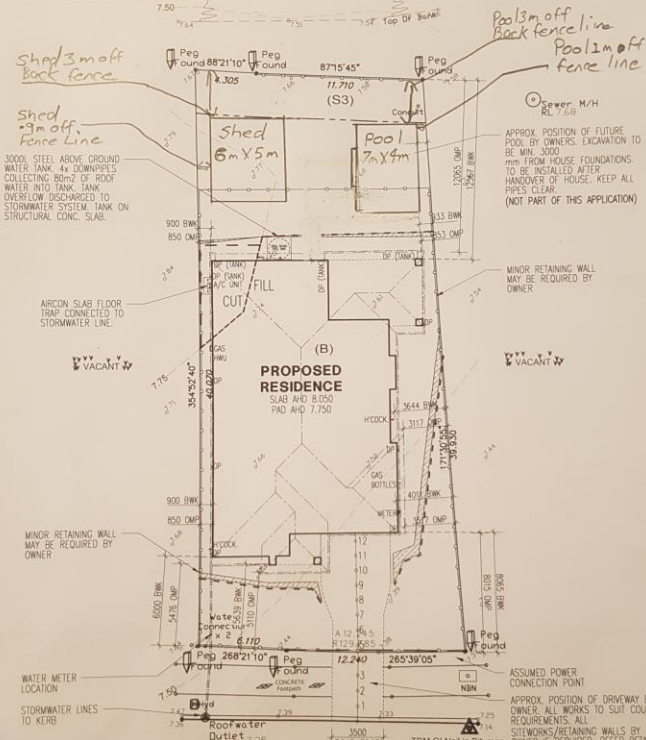
208 LOGAN RD, WOOLI  
 PH (07) 3028 9500

\*This work is exclusively o  
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**SITE PLAN**

Currajong Street



**SEDIMENT FENCE**

NOTE - SEDIMENT FENCE TO OUTSIDE OF FILL

NOTE - SEDIMENT FENCE

NOTE - EARTHEN SPOON DRAIN

NOTE - USE TEMPORARY DOWNPIPES

NOTE - TEMPORARY FENCING

NOTE - SURFACE WATER GRATES TO BE LOCATED TO CENTRE OF SPOON DRAIN

NOTE - PLACE FILL AROUND THE PERIMETER OF THE CONCRETE SLAB (IMMEDIATELY FOLLOWING SLAB POUR) TO DIVERT WATER AWAY FROM FOUNDATIONS.

— ROOF CATCHMENT AREA

**TYPICAL SPOON DRAIN & SWG POSITION DETAIL**

**PROPERTY DESCRIPTION**

LOT 5 ON DP 1248978

CORRAJONG ST/14

SUBURB: EVANS HEAD

LOCAL AUTH: RICHMOND VALLEY

**AREAS**

LAND: 690 m<sup>2</sup>

SITE COVERAGE: 41.97%

**SITING WORKS**

CUT: 0.100

FILL: 0.550

PAD AND: 8.050

SLAB AND: 7.750

NOTE: FOUNDATION BEARS TO BE CONNECTED TO STORMWATER SYSTEM PER LOCAL AUTH.

**CRITICAL PAD LEVEL**

REQUIRED DUE TO FULL REQUIREMENTS OF STORMWATER GRATES

NO  YES

**NORTH**

NOTE: ALL BUILDING WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

SURVAYOR No: 186259

**CORAL HOMES**

QBCC 90792/1014053

CRT 62084C

**PRELIMINARY TENDER PLAN**

CLIENT: J & V ALLSOPP

LOT 5 CORRAJONG STREET

EVANS HEAD NSW 2473

CHECKED: NLU

DATE: 11-JAN-19

DRAWING: SITE PLAN LAYOUT

REFERENCE NO: J28412

SCALE: 1:200

DATE: 11-JAN-19

PROJECT: J28412

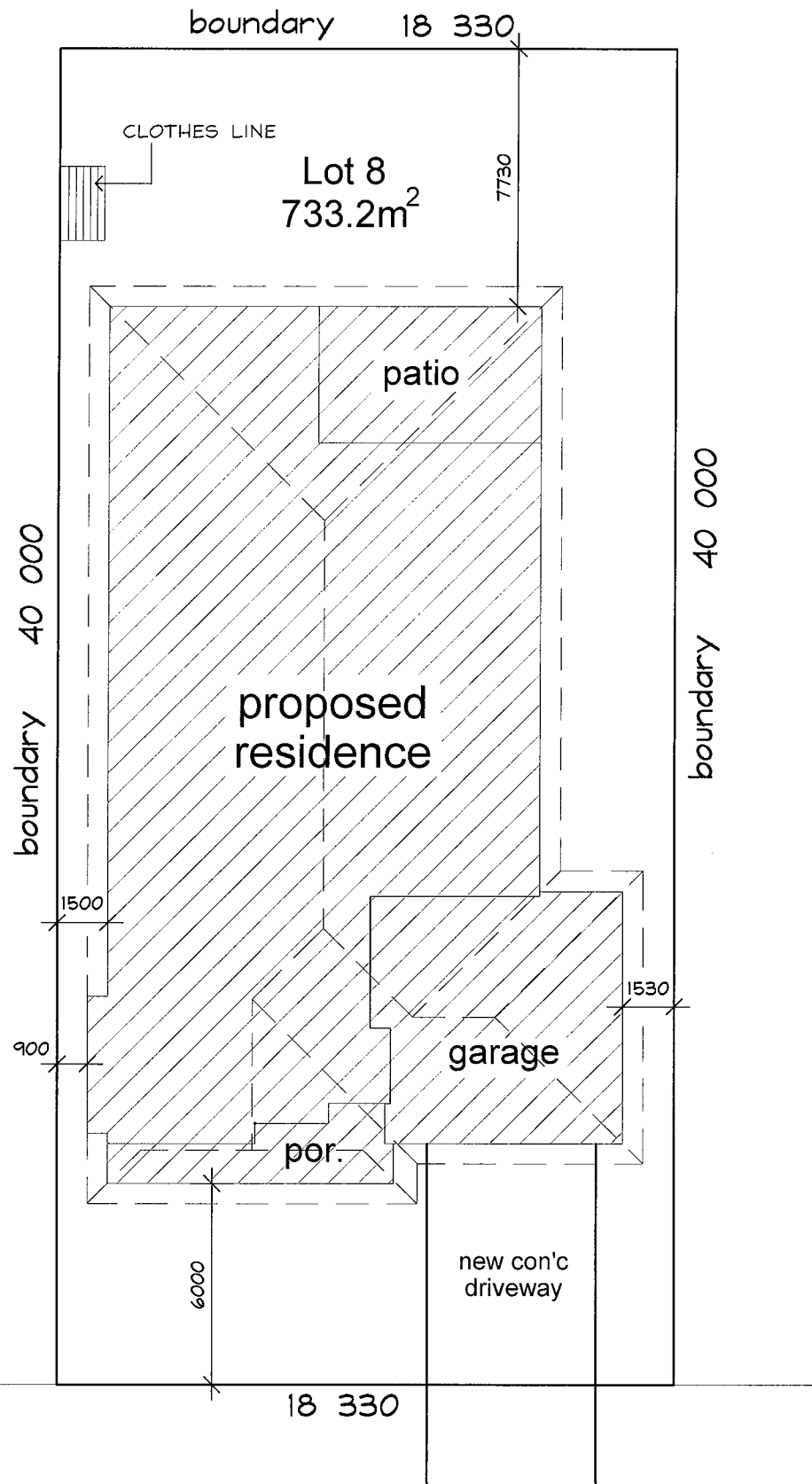
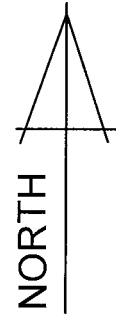
SHEET: 1A OF 3

BY: J & V ALLSOPP GROUP

ALL RIGHTS RESERVED

THESE PLANS ARE PRELIMINARY ONLY AND DO NOT FORM PART OF THE CONTRACT.

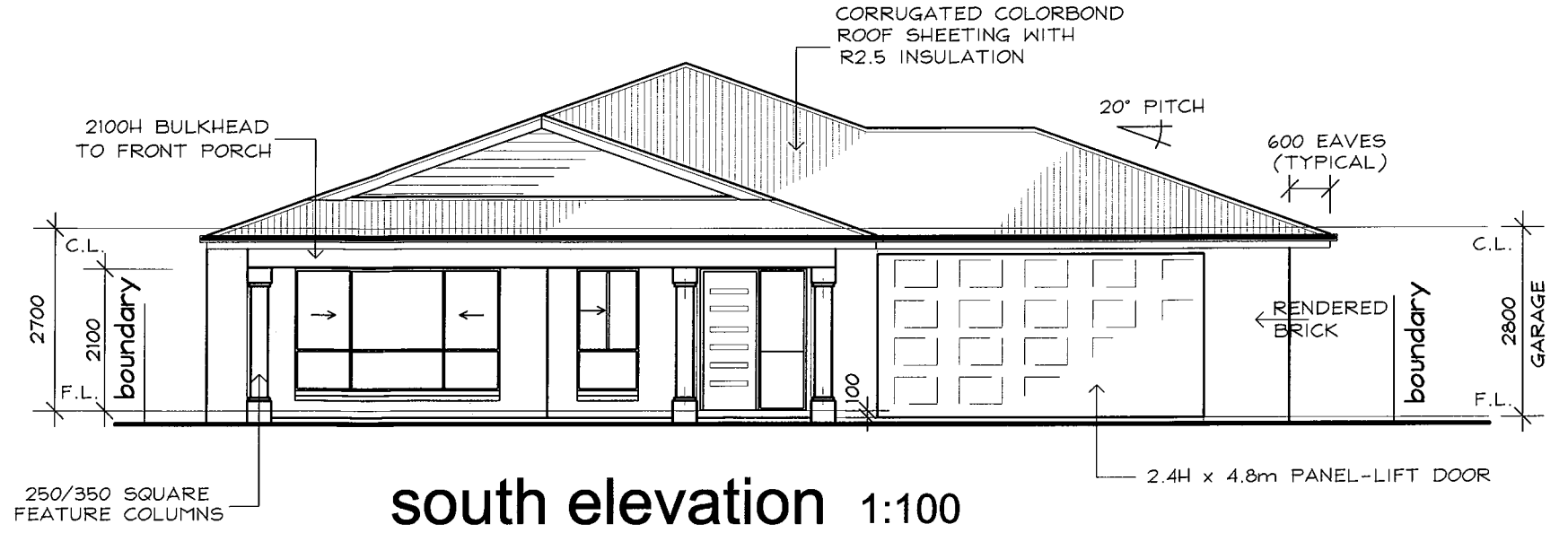




- currajong street -

site / landscape plan 1:200

**preliminary**



south elevation 1:100

BASIX COMPLIANCE SPECIFICATION Certificate No. ?????

PROJECT DATA

SITE DETAILS	sq.m
Site Area	733
Roof Area	
Conditioned Floor Area	
Unconditioned Floor Area	
Total Area of Garden & Lawn	
Area of Indigenous Species	N/A

WATER COMMITMENTS

FIXTURES	Min Rating
All Shower Heads	4 Star
All Toilets	4 Star
All Kitchen Taps	4 Star
All Bathroom Taps	4 Star

ALTERNATIVE WATER	
Rainwater Tank Capacity	3000 litres
Roof Area to Tank	
Tank Connected to	All Toilets, L'dry and outdoor taps

THERMAL COMFORT SPECIFICATION

EXTERNAL WALLS	Brick Veneer
Insulation	Minimum R1.36 (or 1.90 including construction)
Colour	N/A
INTERNAL WALLS	Plasterboard
WINDOWS	
Glass	Single Clear (U=7.63 SHGC=0.75)
Frame	Standard Aluminium
Internal Cover	N/A
External Cover	Eave / verandah / porch
SKYLIGHTS	N/A
ROOF	Flat ceiling / pitched roof
Insulation	55mm foil backed blanket
Colour	Medium (SA < 0.475 - 0.70)
CEILINGS	Plasterboard
Insulation	Minimum R1.81 (down)
FLOOR	Concrete slab on ground
Covering	N/A
Insulation	N/A

ENERGY COMMITMENTS

HOT WATER SYSTEM	Solar - Electric Boosted (26-30 RECS)
COOLING	
Living Areas	Ceiling Fans
Bedrooms	Ceiling Fans
HEATING	
Living Areas	Nil
Bedrooms	Nil
VENTILATION	
Bathrooms	Individual fan, ducted to facade or roof Manual switch on/off
Kitchen	Individual fan, ducted to facade or roof Manual switch on/off
Laundry	Natural
ARTIFICIAL LIGHTING	Dedicated Fluorescent or LED
Bedrooms	No
Living/Meals	No
Kitchen / Hallways	No
Laundry	No
Bathrooms/Toilets	No
Cooktop/Oven	Gas Cooktop / Electric Oven
Refrigerator Space	Not well ventilated
Outdoor Clothes Drying	Yes (fixed)

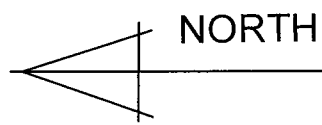
BUILDER TO CHECK ALL DIMENSIONS AND LEVELS ONSITE  
GROUND LEVELS SHOWN ARE APPROXIMATE, BUILDER IS TO CHECK ALL  
LEVELS AND POSITION ONSITE WITH OWNER BEFORE COMMENCING WORK.

Proposed Residence  
for M.Quirk & K.Russell  
Lot 8 - Currajong Street, Evans Head

Brian Suffolk  
Building Design  
0428661900

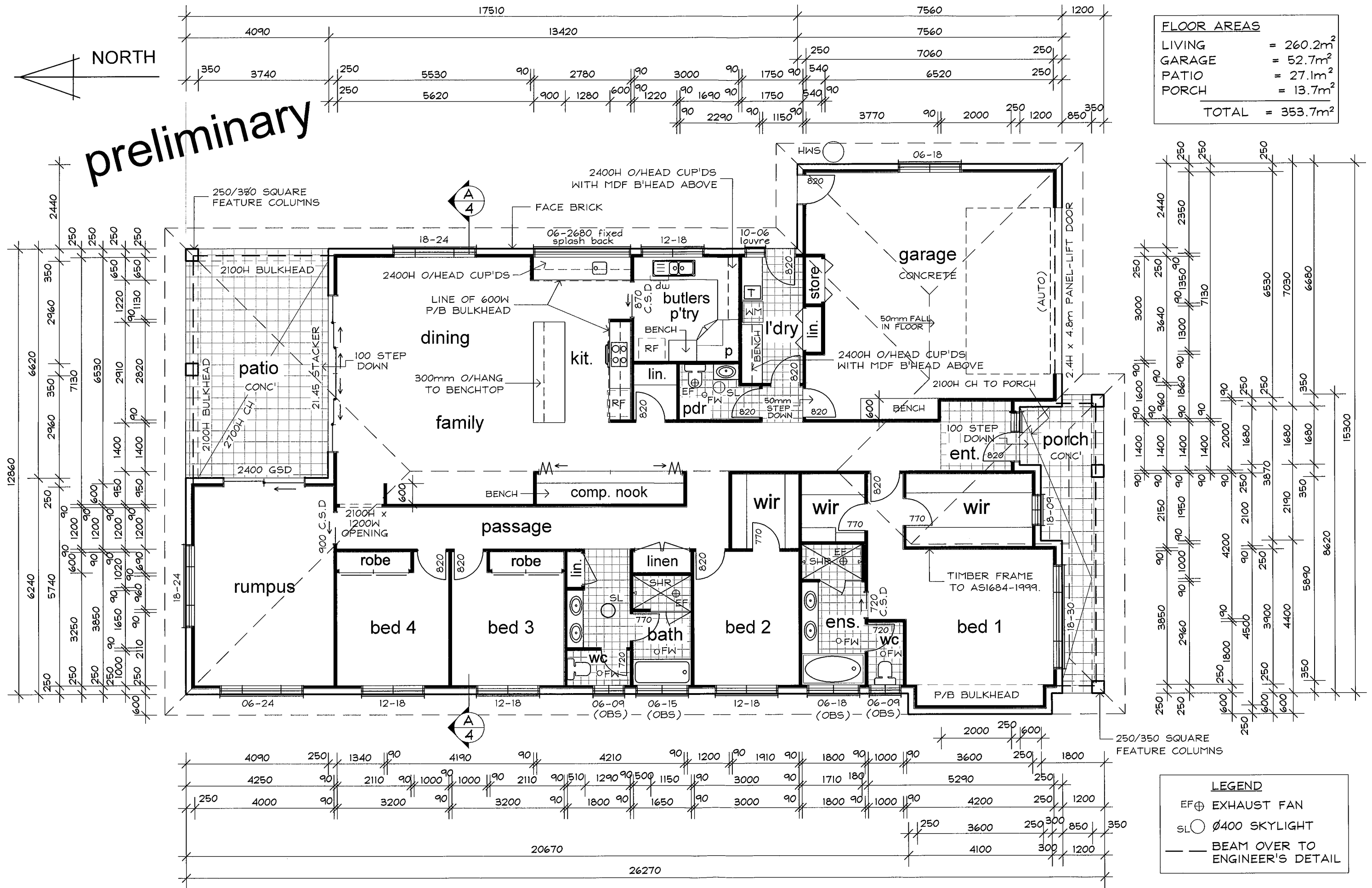
Issue A  
1:200 / 100 @ A3  
Nov 2018

SHEET 1 of 4  
Plan No. 1802



preliminary

FLOOR AREAS	
LIVING	= 260.2m <sup>2</sup>
GARAGE	= 52.7m <sup>2</sup>
PATIO	= 27.1m <sup>2</sup>
PORCH	= 13.7m <sup>2</sup>
<b>TOTAL</b>	<b>= 353.7m<sup>2</sup></b>



CONCRETE SLAB, FOOTINGS AND WIND BRACING TO ENGINEERS DETAIL

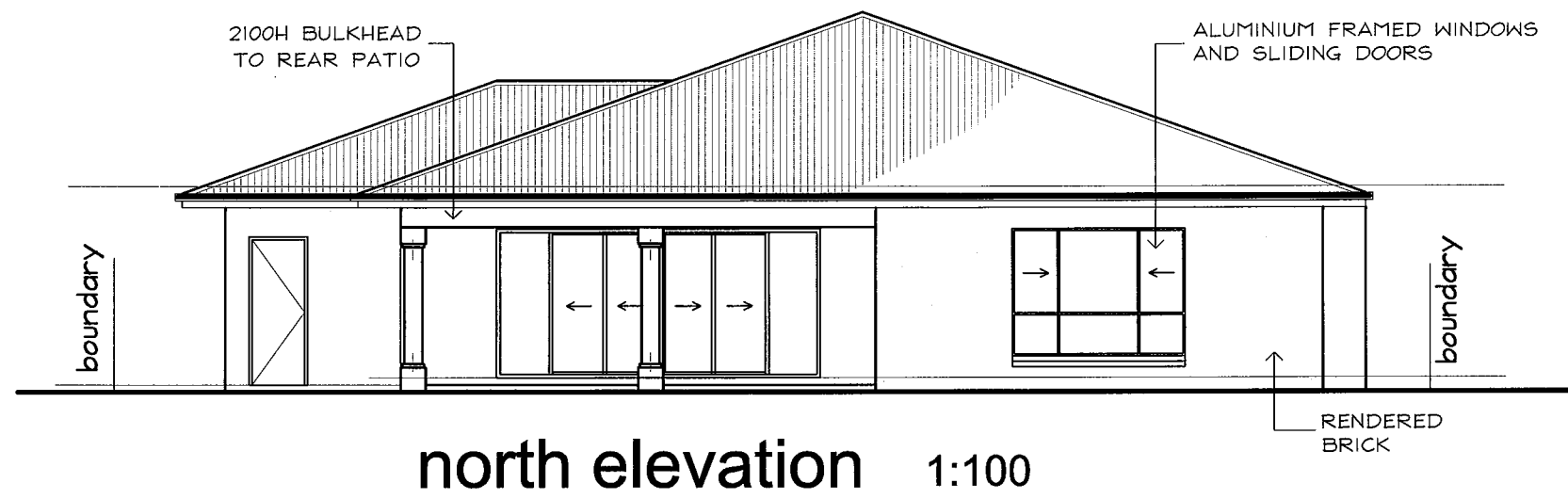
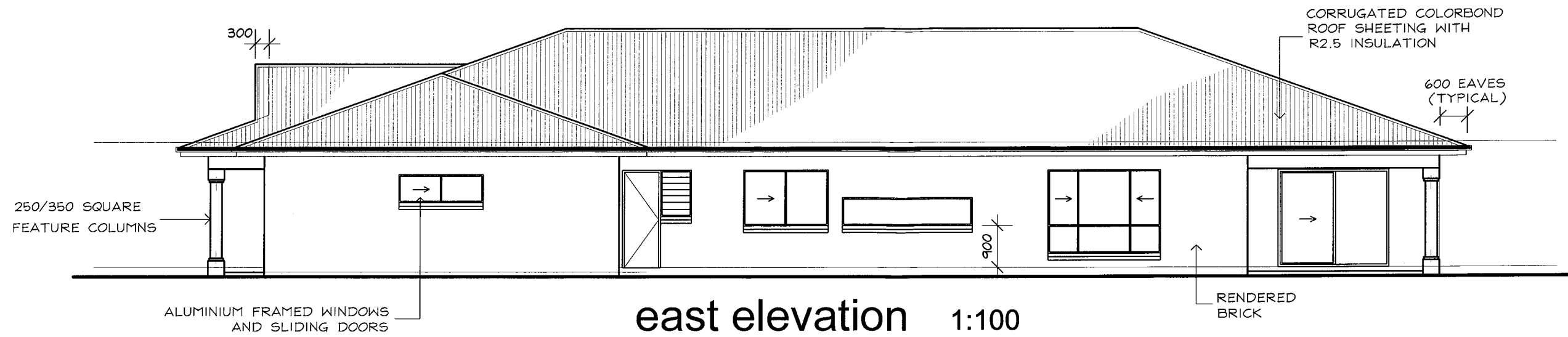
### floor plan 1:100

Proposed Residence for M.Quirk & K.Russell Lot 8 - Currajong Street, Evans Head

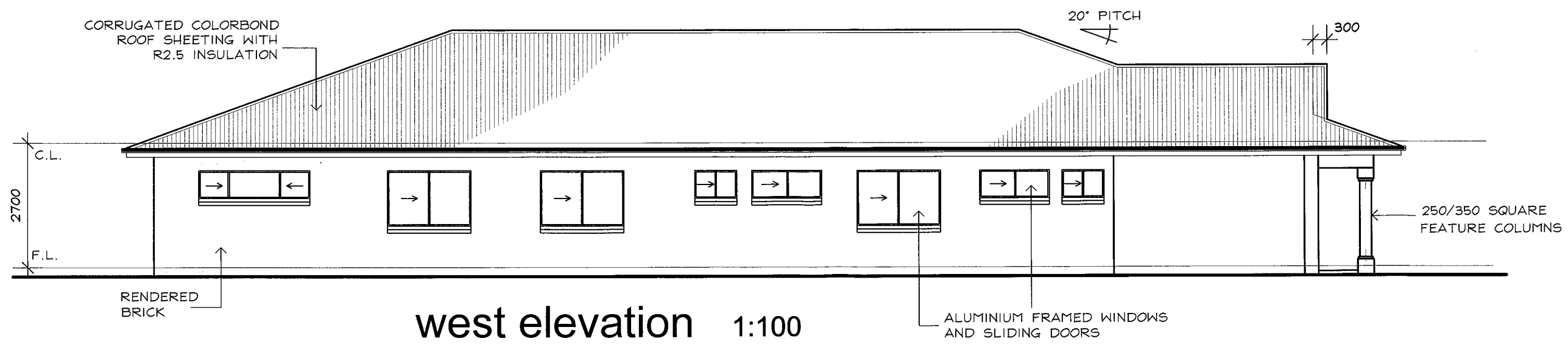
Brian Suffolk Building Design 0428661900

Issue A 1:100 @ A3 Nov 2018

SHEET 2 of 4 Plan No. 1802



preliminary

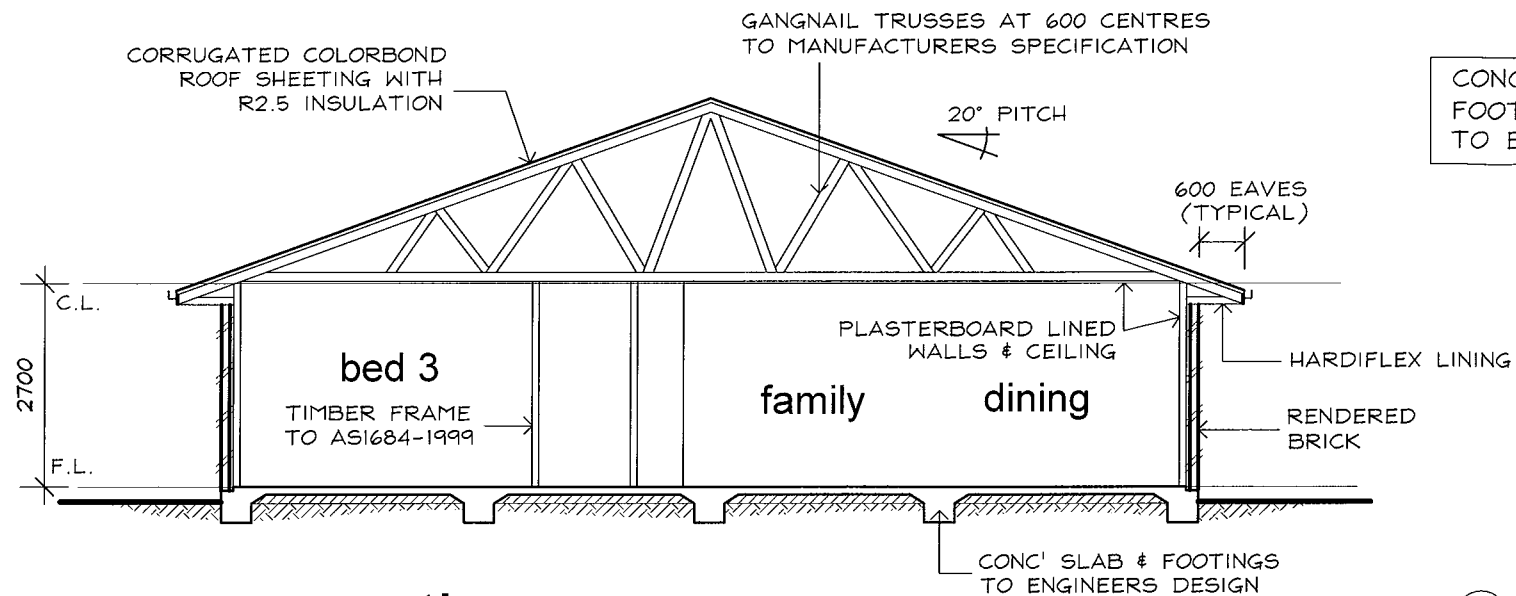


Proposed Residence  
for M.Quirk & K.Russell  
Lot 8 - Currajong Street, Evans Head

Brian Suffolk  
Building Design  
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Issue A  
1:100 @ A3  
Nov 2018

SHEET 3 of 4  
Plan No. 1802

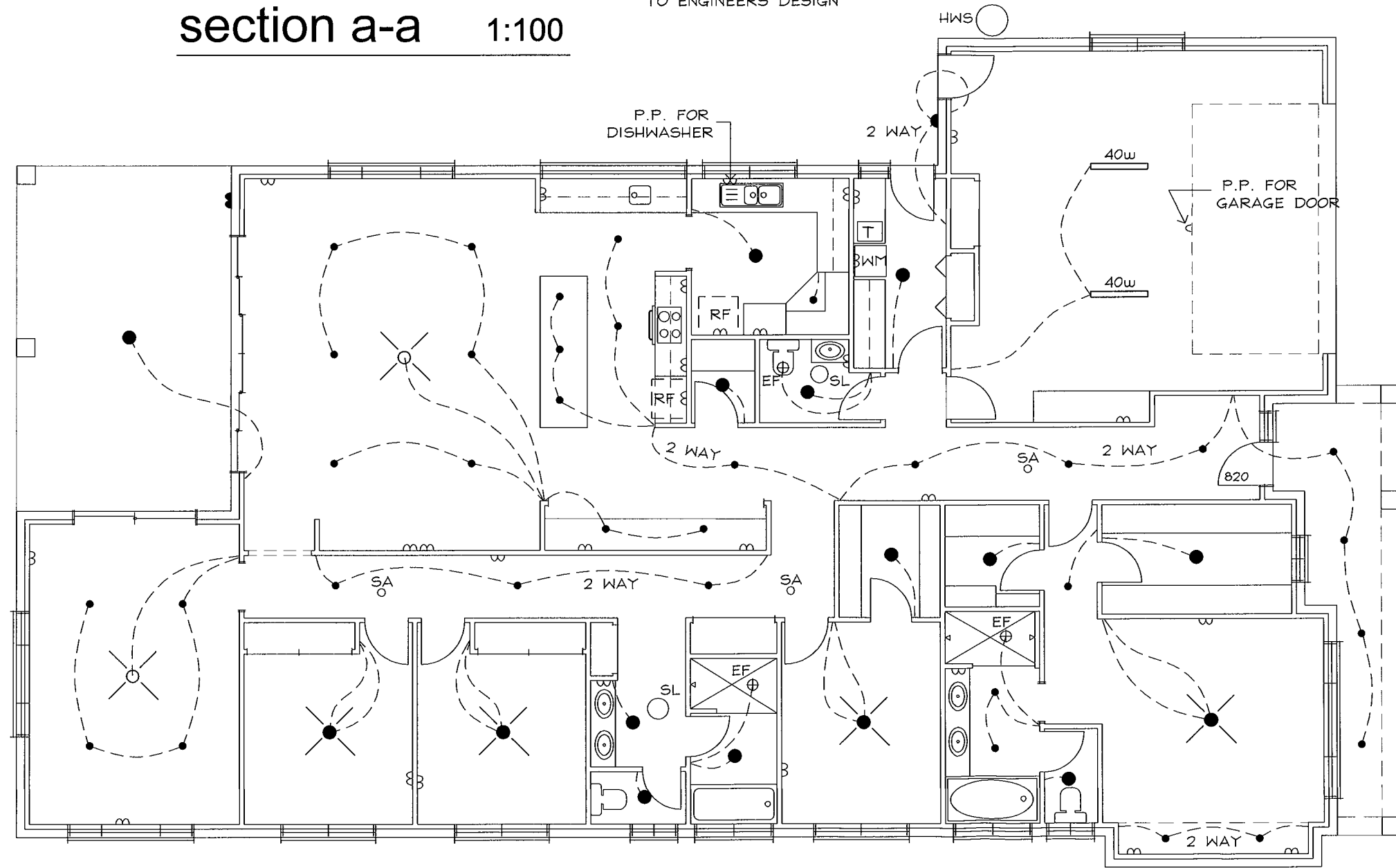


section a-a 1:100

CONCRETE SLAB,  
FOOTINGS AND WIND BRACING  
TO ENGINEERS DETAIL

**GENERAL STANDARDS & REQUIREMENTS**  
 Building Code of Australia & applicable  
 Standards Australia Codes & Publications  
 Termite Control: to AS 3660-1  
 Concrete: to AS 3600, AS 3610 & AS 1379  
 Brickwork: to AS 3700  
 Timber Frame: to AS 1684 & BCA of Aust.  
 Electrical: to AS 3000  
 Steelwork: to AS 4100, AS 1538, AS 1214 &  
 AS 1627  
 Plumbing & Drainage: to AS 3500 &  
 AS 3500.2  
 Metal Roof Sheetting: to AS 1562, AS 3566 &  
 AS 2179, AS 2180 & AS 2904  
 Floor & Wall Tiles: to AS 3740  
 Painting: to AS 2310

preliminary



electrical plan 1:100

**LEGEND**

NOTE: ELECTRICAL & LIGHTING TO BE CONFIRMED WITH OWNER

- ⌘ DOUBLE POWER POINT
- ⌘ WEATHERPROOF POWER POINT
- LIGHT
- DOWNLIGHT
- ◐ WALL LIGHT
- ▬ FLUORESCENT LIGHT
- ⊗ -IXL TASTIC (FAN/LIGHT/HEAT)
- ⊕ FLOOR WASTE
- ⊕ EXHAUST FAN
- ∅400 SKYLIGHT
- ▲ MOVEMENT SENSOR LIGHT
- ⊗ -CEILING FAN
- ⊕ SA SMOKE ALARM

NOTE: SMOKE DETECTOR HARDWIRED TO CONSUMER MAINS WITH 9v BATTERY BACKUP INSTALLED IN ACCORDANCE WITH AS 3786 1993. ALL SMOKE DETECTORS TO BE INTERCONNECTED.

Proposed Residence  
 for M.Quirk & K.Russell  
 Lot 8 - Currajong Street, Evans Head

Brian Suffolk  
 Building Design  
 0428661900

Issue A  
 1:100 @ A3  
 Nov 2018

SHEET 4 of 4  
 Plan No. 1802



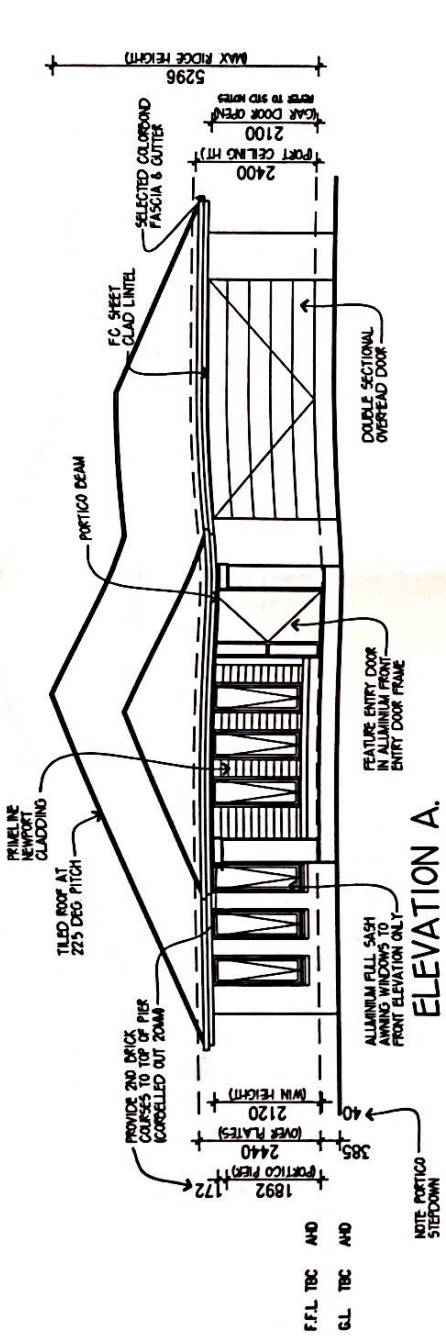


NOTE: PROVIDE BLUE HALF-TREATED TIMBER FRAME & TRUSSES

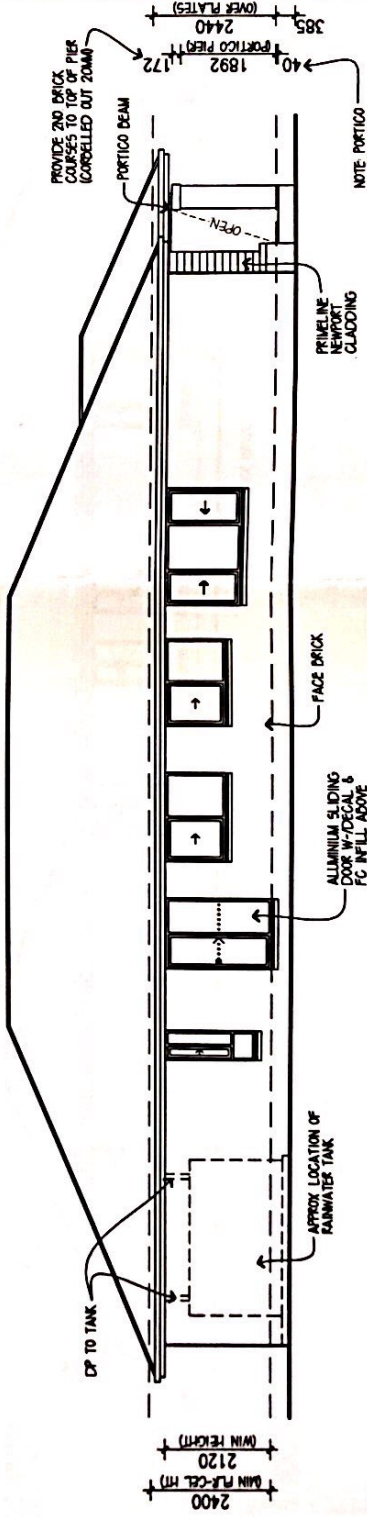
NOTE: PROVIDE SELECTED SCREENS TO ALL OPERABLE WINDOWS AND SLIDING GLASS DOORS

NOTE: 600mm eave UNO.

NOTE: PROVIDE BRICKWORK ABOVE FRONT ENTRY DOOR & FRONT ELEVATION WINDOWS (UNO.)



ELEVATION A.



ELEVATION B.

ELEVATIONS 1:100

DESIGN: **GRANDVIEW 33**

FACADE: KINGSTON CEILING: 24 R

GARAGE: DOUBLE

ELEVATIONS

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**FREEDOM** | **m** | metrixion

BY METRICON

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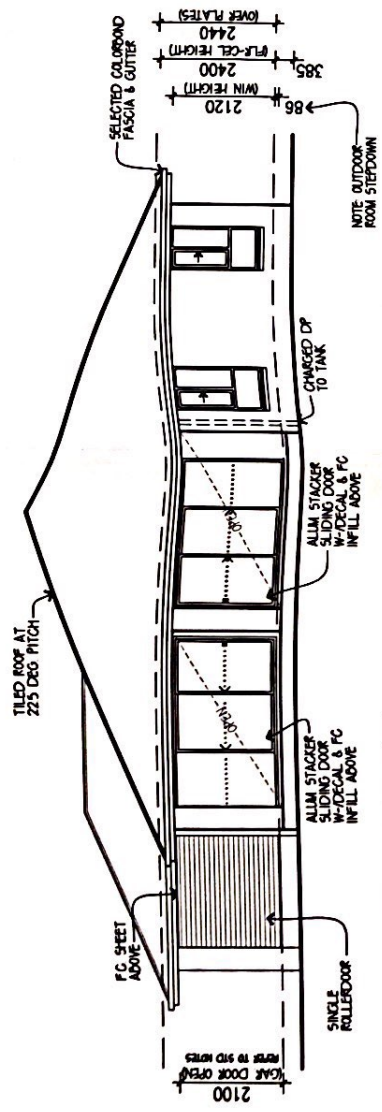
OWNER: **BRANDSON & T. BUTLER**  
**LOT 10 CURRAJONG STREET**  
**EVANS HEAD**

JOB NO: 697502 LIST VER: JUNE 2018

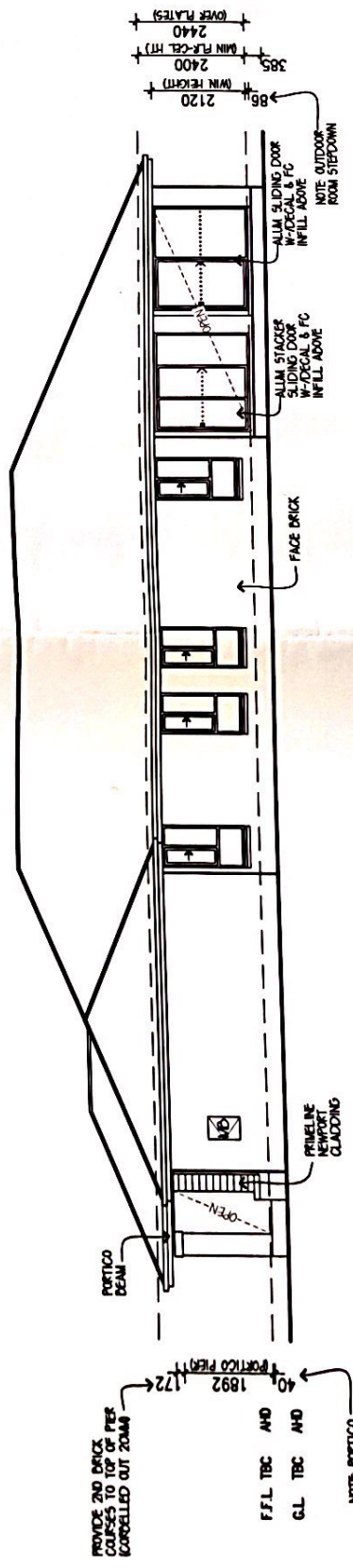
PERMIT NO: — DWS: TDA

PRELIMINARY SHEET: 5 of 9  
 DATE: 13.09.18 SAK

NOTE:  
600mm eave UNO.



ELEVATION C.



ELEVATION D.

PROVIDE 2ND BRICK COURSE TO TOP OF PORTICO BEAM SCORRELLED OUT 20MM

F.F.L TBC AND G.L. TBC AND

NOTE PORTICO STEPDOWN

ELEVATIONS 1:100

OWNER: M BRINDSON & T. BUTLER  
LOT 10 CURRAJONG STREET  
EVANS HEAD

JOB NO: 697502  
JOB DATE: 13.09.18

PERMIT No: —  
PRELIMINARY SHEET: 4 of 9

DESIGN: GRANDVIEW 33  
FACADE: KINGSTON  
GARAGE: DOUBLE

CEILING: 24. R

BY METRICON

**FREEDOM**  
m

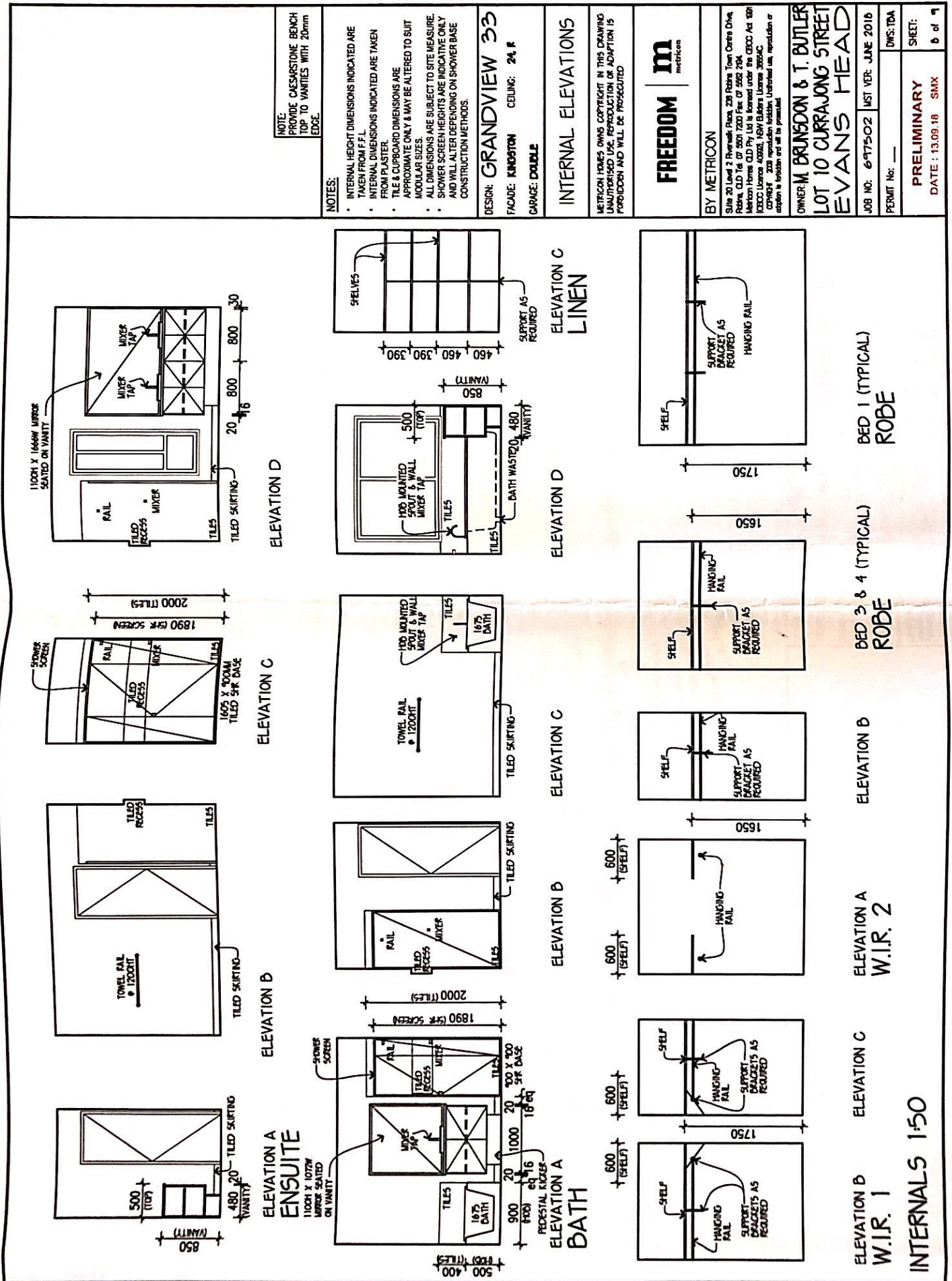
ELEVATIONS

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NOTE:  
PROVIDE SELECTED SCREENS TO ALL OPENABLE WINDOWS AND SLIDING GLASS DOORS

NOTE:  
PROVIDE BLUE H2-F TREATED TRUSS FRAME & TRUSSES





NOTE:  
 PROVIDE CAESARSTONE BENCH  
 TOP TO VANITIES WITH 20mm  
 EDGE.

NOTES:  
 \* INTERNAL HEIGHT DIMENSIONS INDICATED ARE  
 TAKEN FROM F.F.L.  
 \* INTERNAL DIMENSIONS INDICATED ARE TAKEN  
 FROM PLASTER.  
 \* TILE & CUPBOARD DIMENSIONS ARE  
 APPROXIMATE ONLY & MAY BE ALTERED TO SUIT  
 MODULAR SIZES.  
 \* ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE  
 AND WILL ALTER DEPENDING ON SHOWER BASE  
 CONSTRUCTION METHODS.

DESIGN: **GRANDVIEW 33**  
 FACADE: **KINGSTON** CEILING: **24, R**  
 GARAGE: **DOUBLE**

**INTERNAL ELEVATIONS**

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OWNER: **M. BRINDSON & T. BUTLER**  
**LOT 10 CURRAJONG STREET**  
**EVANS HEAD**

JOB NO: **617502** MST VER: **JUNE 2018**  
 PERMIT No: **DWS:TDA**

PRELIMINARY  
 DATE: **13.09.18** SHX  
 SHEET: **6** of **7**

BED 1 (TYPICAL)  
 ROBE

BED 3 & 4 (TYPICAL)  
 ROBE

ELEVATION D

ELEVATION A  
 W.I.R. 2

ELEVATION C

ELEVATION D  
 W.I.R. 1

INTERNALS 1:50

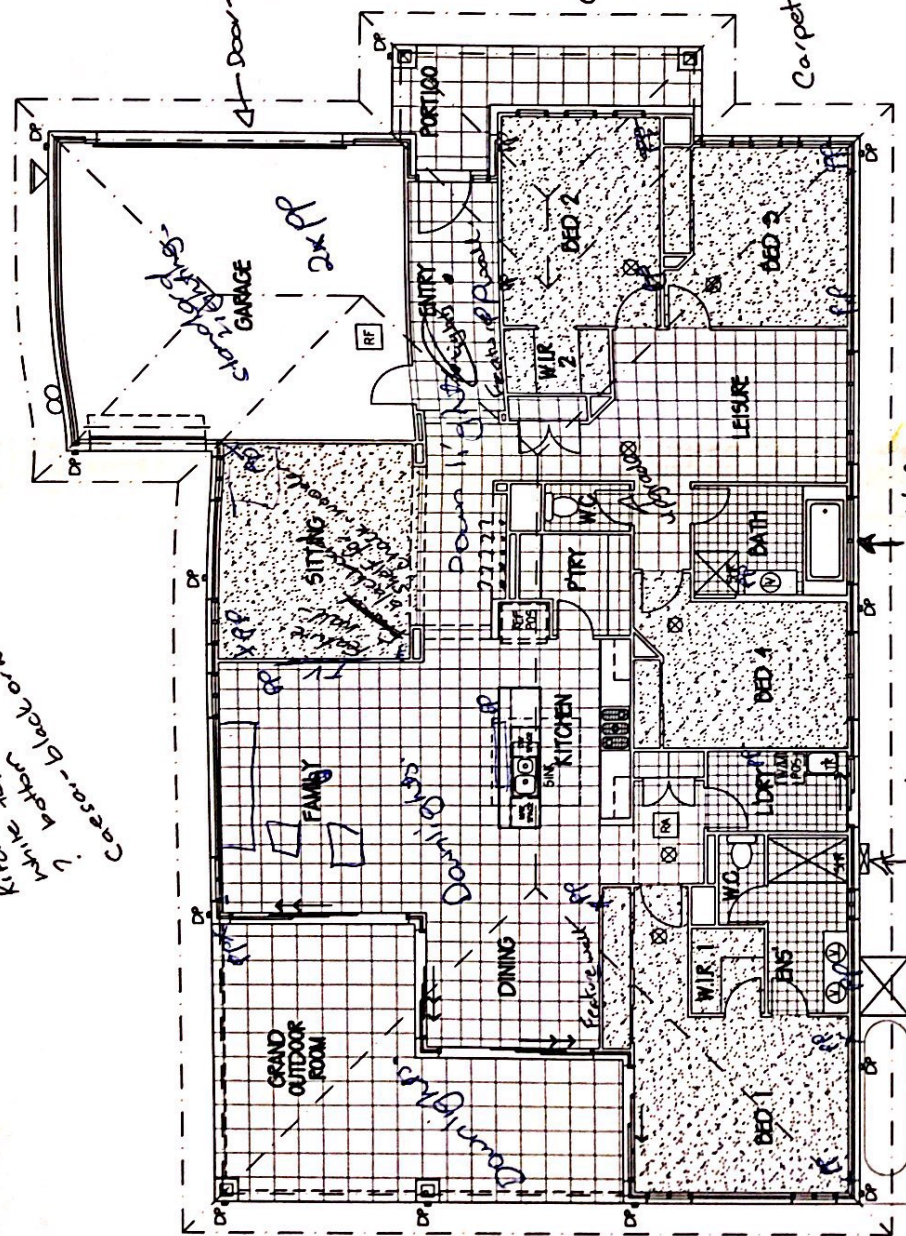
Brickwork - light brick - light mortar  
 - pillars - dark brick mortar  
 Roof tiles - dark grey  
 Door - match front door.

Caesar - black or white  
 Kitchen cabinets -  
 white top

FLOOR COVERINGS LEGEND:

- WET AREA TILES = 17.36 SQM
- TILED = 96.23 SQM
- CARPET = 82.97 SQM (EXCLUDING STAIRS)
- OUTDOOR TILES = 44.75 SQM

Cladding -  
 Carpet - grey  
 Fridge



FLOOR COVERING PLAN 1:100

DESIGN: GRANDVIEW 33 FACADE: KEMINGTON GARAGE: DOUBLE CEILING: 24, R	<b>FREEDOM</b> 	OWNER: M. BRUNSDON & T. BUTLER LOT 10 CURRAJONG STREET EVANS HEAD
		JOB NO: 697502 INST VER: JUNE 2018 PERMIT NO: --- PRELIMINARY DATE: 13.09.18 SMX
BY METRICON Suite 20 Level 2 Riverwalk Place 238 Robina Town Centre Drive Robina, QLD Tel: 07 5501 7200 Fax: 07 5562 2964 Metricon Homes QLD Pty Ltd is licensed under the QBCC Act 1991 QBCC Licence 40892, NSW Builders Licence 38554C. Copyright © 2018 reproduction without permission is prohibited.		DWS: TDA SHEET: 9 of 9

FLR. COVER PLAN  
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White bench-top  
 Dark wood cabinet, grey  
 Dark wood or light grey  
 White walls or hung  
 Floor with carpet  
 Vanity timber  
 - Resin powder

Shower heads

# GENERAL NOTES

(SITE SPECIFIC)

# STANDARD NOTES:

\*WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

### FRAMING

- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH A.S. 1684 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.
- FLOOR TO BE PREFABRICATED TO MANUFACTURERS SPEC. & ALLOW 300MM MIN DEPTH TO ALLOW FOR SERVICES
- SPACED & FIXED TO PROVIDE SUPPORT @ 450MM CRS.

### ROOF FRAMING

- PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS.
- INTERNAL CEILING AREAS SPACED & FIXED AT 600MM MAX. CRS.
- EXTERNAL CEILING AREAS SPACED & FIXED AT 450MM MAX. CRS.
- SKILLION ROOF SPACED & FIXED AT 900MM MAX. CRS.
- GIRDER TRUSSES TO BE PLACED DIRECTLY OVER EXTERNAL WALL STUDS OR APPROVED LINTEL.

### WALL FRAMING

- EXTERNAL STUD WALLS 70MM TH. U.N.O. @ 600 MAX. CRS
- INTERNAL STUD WALLS 70MM TH U.N.O. @ 600 MAX. CRS
- ALL WINDOWS HEADS TO FINISH FLUSH WITH SOFFIT LINING U.N.O.
- LINTEL SIZES TO ENGINEERS DESIGN
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQ. TO BE AS PER ENGINEERS DETAIL

### GARAGE DOOR

- 2100MM GARAGE DOOR OPENING, FRAMING AT 2090MM AFFL
- 2130MM GARAGE DOOR OPENING, FRAMING AT 2105MM AFFL
- GARAGE DOOR OPENING > 2130MM, FRAMING 25MM BELOW OPENING DIMENSION

### CLADDING

#### ROOF CLADDING/PLUMBING

- CLADDING AS SPECIFIED ON ELEVATIONS
- SELECT COLORBOND FASCIA & GUTTER
- SELECT COLORBOND (RAINHEADS WHERE NOTED) DOWNPIPES TO BE CONNECTED TO UG DRAINAGE

#### INTERNAL CEILING/WALL - GENERAL

- CEILING 'DIRECT FIX' 10MM UNISPAN PLASTERBOARD (OR APPROVED EQUIVALENT) U.N.O.
- WALLS TO BE 10MM PLASTERBOARD
- EXTERNAL CEILING/WALL - GENERAL
- CEILINGS 'DIRECT FIX' 10MM UNISPAN (OR APPROVED EQUIVALENT) PLASTERBOARD U.N.O.

- BRICK COURSING TO BE SET OUT TO ACHIEVE 2120 ABOVE F.F.L. FOR ALL WINDOW HEADS U.N.O.
- PROVIDE F.C. SHEET INFILL ABOVE SIDE & REAR ELEVATION WINDOWS & DOORS WHERE INDICATED BY HATCHING. TO WALLS WITH SELECTED FACE BRICK. USE BLUEBOARD INFILL WHEN SELECTED RENDERED FINISH

#### USE F.F.L. FOR DATUM OF WALL BRICK COURSES

- A.J. - DENOTES BRICKWORK ARTICULATION JOINTS. REFER TO ENGINEERS SLAB DESIGN & OR BCA 3.1.9 FOR FULL HEIGHT MASONRY ARTICULATION JOINT LOCATIONS.
- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING FLASHING (80MM MAX LAP TO ALL JOINTS WITH CONTIGUOUS SILICON SEAL BETWEEN & 30MM MIN VERTICAL OVERHANG.)
- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPEN.
- RENDERER IS TO ENSURE WINDOW & DOOR OVERFLOW DRAINAGE HOLES ARE KEPT FREE OF RENDER & ARE NOT BLOCKED, IF RENDERED.

#### SOFFIT DETAIL

- 4.5MM FC SHEET (U.N.O.)
- SPECIFIED EAWE WIDTH, MEASURED FROM FACE OF BRICK.
- ADD 180MM TO EAWE WIDTH IN LIGHTWEIGHT CLAD AREA. DISREGARD (PACKING/CLADDING)

### NSW BASIX REQUIREMENTS (BUILDING AND SUSTAINABILITY INDEX)

- CONNECTION OF THE RAINWATER HARVESTING SYSTEM REQUIREMENTS INCLUDE:
  - RAINWATER TANK SERVED BY A SEPARATE 60 LITER PER SECOND OF ROOF AREA.
  - DOWNPIPE TO BE CONNECTED TO RAINWATER APPLICATIONS INCLUDING TWO (2) EXTERNAL SANITARY TOILETS
  - ALL TOILET BATTERS
  - WHERE AN ALTERNATIVE WATER SUPPLY IS PROVIDED, THE ALTERNATE SUPPLY IS TO BE CONNECTED TO ALL WC'S & AT LEAST ONE EXTERNAL TOILET
  - PROVIDE MINIMUM 3 STAR RATING TO ALL INHABITANCE SHOWERS HEADS & TOILETS
  - ALL ENERGY EFFICIENT LIGHTING TO BE PROVIDED IN ACCORDANCE WITH APPROVED LIGHTING SCHEDULE
  - LIGHTING TO BE EITHER BATTERY POWERED OR APPROVED SEALED DOWNLIGHT SYSTEM

### REVISION TABLE

REV	DATE	COMMENT	DR	CH
1	13.09.18	PC1	SMX	RGO
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-
6	-	-	-	-
7	-	-	-	-
8	-	-	-	-
9	-	-	-	-
10	-	-	-	-
11	-	-	-	-
12	-	-	-	-
13	-	-	-	-
14	-	-	-	-
15	-	-	-	-
16	-	-	-	-
17	-	-	-	-
18	-	-	-	-
19	-	-	-	-
20	-	-	-	-
21	-	-	-	-
22	-	-	-	-
23	-	-	-	-

OWNER: M BRINDSON & T. BUTLER  
 LOT 10 CURRAJONG STREET  
 EVANS HEAD

JOB NO: 697502 MET VER: JUNE 2018

PERMIT No: —

DWS: TDA

SHEET:

DATE: 13.09.18 SMX



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 QCCC Licence # 2856F, 15/04/2018  
 QCCC Licence # 2856G, 15/04/2018  
 QCCC Licence # 2856H, 15/04/2018  
 QCCC Licence # 2856I, 15/04/2018  
 QCCC Licence # 2856J, 15/04/2018  
 QCCC Licence # 2856K, 15/04/2018  
 QCCC Licence # 2856L, 15/04/2018  
 QCCC Licence # 2856M, 15/04/2018  
 QCCC Licence # 2856N, 15/04/2018  
 QCCC Licence # 2856O, 15/04/2018  
 QCCC Licence # 2856P, 15/04/2018  
 QCCC Licence # 2856Q, 15/04/2018  
 QCCC Licence # 2856R, 15/04/2018  
 QCCC Licence # 2856S, 15/04/2018  
 QCCC Licence # 2856T, 15/04/2018  
 QCCC Licence # 2856U, 15/04/2018  
 QCCC Licence # 2856V, 15/04/2018  
 QCCC Licence # 2856W, 15/04/2018  
 QCCC Licence # 2856X, 15/04/2018  
 QCCC Licence # 2856Y, 15/04/2018  
 QCCC Licence # 2856Z, 15/04/2018

BOOK: GRANDVIEW 33  
 FACE: KINGSTON CEILING: 24, F  
 CHECK: DOUBLE

COVER PAGE: NOTES

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### BRICK PIERS/COLUMNS/POSTS

- PROVIDE BALCONY PORTICO & OR ROOF SUPPORT WITH ENCASED SLIP JOINT SHS POSTS (FULL LENGTH U.N.O.) CHEM-SET TO CONCRETE FOOTING TO ENGINEERS DETAIL
- HEADER COURSE TO TOP OF ALL BRICK PIERS LOWER THAN SOFFIT LIKE.
- USE 300MM BELOW FFL FOR DATUM OF PIER BRICK COURSES
- REFER TO 'O-TYP-POST TYPES' FOR SHS POSTS DETAILS

### TERMITE PROTECTION

- PROVIDE TERMITE MANAGEMENT SYSTEM DEEMED TO SATISFY A.S. 3660.1

### STEPS/STAIRS & BALUSTRADES

- ALL STEPS MUST COMPLY WITH B.C.A. 3.9.1.
- BARRIERS & HANDRAILS MUST COMPLY WITH B.C.A. 3.9.2.

### WET AREAS

- WATERPROOFING OF WET AREAS TO COMPLY WITH A.S. 3870 & OR B.C.A. 3.8.1.
- WALL LINING TO WET AREAS TO BE 6MM VILBOARD U.N.O.
- CEILING 'DIRECT FIX' 10MM UNISPAN (OR EQUIVALENT) PLASTERBOARD.
- ALL WALL TILING HEIGHTS ARE NOMINAL, AND TO BE ADJUSTED ON SITE TO SUIT. SHOWER TILING TO EXTEND MIN. 20MM ABOVE SCREEN.

### GLAZING

- WINDOW HEAD HEIGHT DIMENSION GENERALLY TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- WIN. SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WIN. U.N.O.
- ALUMIN. SLIDING WIN. & DOORS TO SIDE & REAR ELEVATIONS U.N.O.
- ALL GLAZING TO COMPLY WITH A.S. 1289 GLASS IN BUILDINGS & WITH A.S. 4055 FOR WIND LOADING
- ALL WINDOWS WITH A SILL HEIGHT OF 3M OR MORE ABOVE GROUND LEVEL SHALL BE RESTRICTED TO BE UNREMOVABLE BEYOND 125MM, TO COMPLY WITH BCA 3.9.2.5 REQUIREMENTS (U.N.O.)

### ENERGY EFFICIENCY NOTES

- PROVIDE BULK CEILING INSULATION AS PER STD SPECIFICATIONS (U.N.O.)
- PROVIDE EXTERNAL WALL INSULATION AS PER STD SPECIFICATIONS (U.N.O.)
- PROVIDE WEATHER STRIPPING TO ENTRY & LAUNDRY DOORS.

### MISCELLANEOUS

- ALL HWYS TO BE GAS U.N.O.
- FLUES FOR ALL HEATERS (WHERE APPLICABLE) ARE TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH B.C.A. 3.8.3.
- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, BCA & A.S. 3800
- PROVIDE MINIMUM 125mm SLOTTED GUTTERS WITH APPROVED OVERFLOW SPACERS

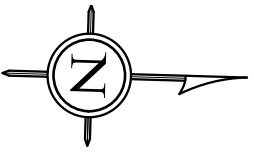
### CONCRETE SLAB ON GROUND

- CONCRETE SLAB TO ENGINEERS DETAIL

### STEEL FRAMING REQUIREMENTS (WHERE APPLICABLE)

- 70MM STEEL FRAME & TRUSSES REQUIRING THE ISSUE OF A SIGNED COMPLIANCE CERTIFICATE FOR THE BUILDING DESIGN - FORM 15 UPON COMPLETION AND PRIOR TO FINAL CERTIFICATION
- STEEL FRAMES AND TRUSSES TO COMPLY WITH:
- AS/NZS 1170.0 STRUCTURAL DESIGN ACTIONS: PART 0 GENERAL PRINCIPLES
- AS/NZS 1170.1 STRUCTURAL DESIGN ACTIONS: PART 1 PERMANENT, IMPOSED AND OTHER ACTIONS
- AS/NZS 4600 COLD-FORMED STEEL STRUCTURES
- AS 4065 WIND LOADS FOR HOUSING
- AS 4100 STEEL STRUCTURES CODE
- AS 3623 DOMESTIC METAL FRAMING
- AS 3556.1 SELF DRILLING SCREWS

**NORTH POINT WARNING**  
The north point shown relates to the subject survey plan. The user should ensure this is suitable for their purpose.



/// DENOTES 1:3 FILL  
/// DENOTES 1:2 CUT  
+ DENOTES TERRACED RETAINING WALLS AS SPECIFIED

NOTE: FUTURE CONCRETE DRIVEWAY, CROSSOVER, PATH & PORTICO (FINISH TBC) AS PER L.C.C. STD DRAWINGS R05&R06 BY OWNER AFTER HANDOVER. MAXIMUM MAIN GRADE 4%. GULLY GRATE TO LOWEST POINT IF REQUIRED.

STORMWATER & RWT OVERFLOW DISPERSAL TO KERB OUTLET

**IMPORTANT:**  
PROPOSED RESIDENCE & SITEWORKS ARE SUBJECT TO LOCAL AUTHORITY REQUIREMENTS, FINAL SEWER & STORWATER LOCATIONS, OVERLAYS & BUILDING ASSESSMENT.  
SITE COVER IS 29.5% (209.7SQM)

**IMPORTANT:**  
DWELLING SITING IS SUBJECT TO LOCAL AUTHORITY / CERTIFIER ASSESSMENT. SIDE & FRONT BOUNDARY SETBACKS MAY BE EXCEEDED.

ACOUSTIC CATEGORY: N/A  
FLOOD AREA: N/A  
BUSHFIRE PRONE: YES  
ACID SULPHATE SOIL: CLASS 3  
COASTAL HAZARD AREA: N/A  
LOT IS WITHIN: RIPARIAN LAND

WATER SUPPLY: MAINS & RECYCLED  
GAS SUPPLY: BOTTLED  
POWER SUPPLY: SINGLE PHASE

NOTE: PROPOSED SITE SCRAPE. NO EXPORT OF SPOIL FROM SITE.

PROPOSED DRIVEWAY CROSSOVER BY OWNER AS PER LOCAL AUTHORITY REQUIREMENTS

OWNER TO FINALIZE ALL OUTSTANDING ITEMS TO MEET THE COVENANT CONDITIONS WITHIN THE DEVELOPERS REQUIRED TIME FRAME.

ALL FENCING & LANDSCAPE ITEMS BY OWNER TO BE CONFIRMED.

SOIL CLASS: P/M 310HT SLAB ASSUMED  
WIND RATING: N3

**AHD BY GNSS**  
Australian Height Datum (AHD) derived from field observation using GNSS (Global Navigation Satellite System) equipment which may have limited and varied accuracy and may be unsuitable for some applications. Please contact our office for more information particularly in flood prone areas or areas with height restrictions

**REGISTERED PLAN INFORMATION**  
The Registered Plan Information was NOT Available from DNR & M at the time of completing the Detail - Site Survey

- LEGEND**
- <sup>LP</sup> LIGHT POLE
  - <sup>PP</sup> POWER POLE
  - ORIGINAL PEG
  - ▲ TEMPORARY BENCH MARK
  - [F] FIRE HYDRANT
  - [A] AIR VALVE
  - [G] GAS SUPPLY
  - [R] ROOFWATER PIT
  - [W] WATER TAP/WATER VALVE
  - [S] POWER BOX
  - PERMANENT SURVEY MARK
  - ▲ SURVEY CONTROL MARK
  - METER BOX
  - ▨ GULLY GRATE
  - SEWER MANHOLE
  - S STORM WATER MANHOLE
  - S STORM WATER PIPE
  - TELSTRA PIT
  - P SIGN (AS SHOWN)
  - CROSS-OVER
  - ~ HEADWALL
  - X— EXISTING FENCE
  - TIMBER PALING FENCE
  - S— EXISTING SEWER LINE
  - SW— EXISTING STORM WATER LINE
  - TOP— TOP OF BANK
  - TOE— BOTTOM OF BANK
  - W— EXISTING ELECTRICAL POWER LINE
  - CUT/FILL LINE
  - STORM WATER DRAINAGE
  - ▨ EXISTING ROCK RETAINING WALL
  - ▨ EXISTING TIMBER RETAINING WALL
  - ROCK RETAINING WALL
  - ▨ TIMBER RETAINING WALL
  - TREES TO BE REMOVED
  - ▨ DRIVEWAY GRATE
  - ▨ PAVERS ON CONCRETE BASE
  - ▨ BROOM FINISHED CONCRETE
  - ▨ PROPOSED DRIVEWAY BY OWNER
  - ▨ PROPOSED FUTURE POOL PROV.

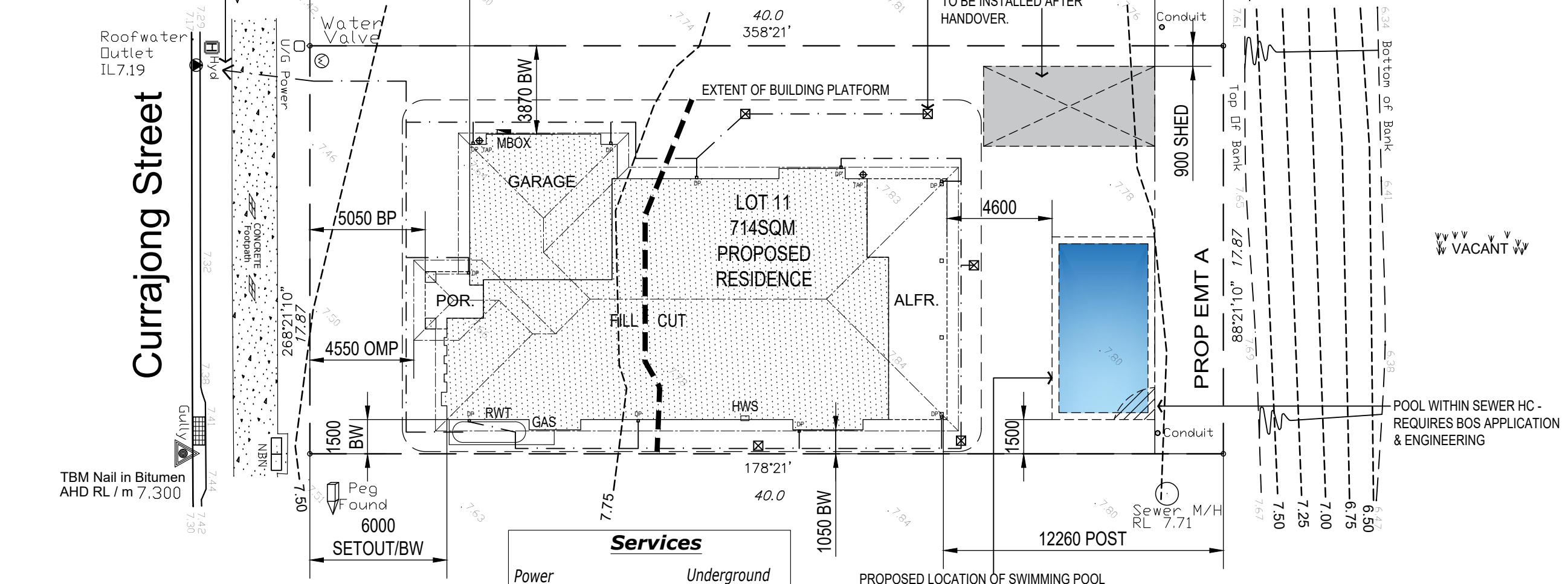
**SERVICES ALERT**  
Axis Surveys take no responsibility for the location of any non-visible service

**GROUND LEVEL ALERT**  
The levels shown were taken on the surveyed date and may not represent the Local Authority's definition of Ground Level. Please contact this office for a quote or further advice.

**IDENTIFICATION SURVEY ALERT**  
This Contour and Feature Survey, as prepared by Axis Surveys, does not guarantee the location of boundary pegs or fences. Please contact this office for a quote or for further advice.

**FLOOD SEARCH ALERT**  
Axis Surveys has not completed a flood search on this property. Check council for flood information.

**TITLE SEARCH ALERT**  
Axis Surveys has not carried out a title search for this survey. Check DERM for easements and encumbrances.



**CONTRACT DRAWINGS**

DATE: \_\_\_\_\_

AUTHORIZED: \_\_\_\_\_

**Services**

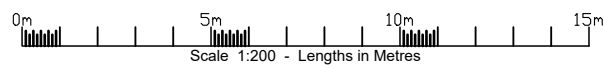
Power	Underground
Phone	Underground
Water	Main at Front
Sewerage	Yes
Stormwater	Front
Road	Bitumen
Kerb	Mountable
Footpath	Concrete

**LOT 11 on Preliminary**

Currajong Street	
Suburb	Evans Head
Local Auth	Richmond Valley Council
Area	714m <sup>2</sup>

**A - PROPOSED EASEMENT FOR SEWER VARIABLE WIDTH**

**Boundaries Compiled From Preliminary Plan**



BUILDING PLATFORMS ARE 1500 WIDE UNLESS NOTED OR INDICATED OTHERWISE BUILDING PLATFORM SHOWN IS APPROXIMATE ONLY. FINAL LEVELS TO BE DETERMINED ON SITE. CUT BATTER IS 1:2.5. FILL BATTER IS 1:4. YARD GULLIES SHOULD NOT BE POSITIONED CLOSER THAN 1.0m TO GAS HOT WATER SYSTEM OR GAS BOTTLE LOCATIONS. REFER AS 5601-2002

THIS PLAN IS PREPARED FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. THE TITLE BOUNDARIES SHOWN HEREON WERE NOT MARKED BY THE AUTHOR AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSION ONLY AND NOT BY FIELD MEASUREMENT. SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES MAY HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

DATE	REVISION	INITIAL
08/05/18	CLIENT VARIATIONS	C 3MK.
07/06/18	CONTRACT ISSUE (INCL. NHP#3+PTVR#2)	D 3MK.
25/11/18	CONTOUR SURVEY + SOIL REPORT ADDED	E 3MK.
03/12/18	POOL + SHED LOCATIONS ADDED	F 3MK.
06/12/18	ELECTRICAL LAYOUT AMENDED	G 3MK.

**adenbrookhomes**

206 LOGAN RD, WOOLLOONGABBA QLD 4102 LICENCE NO: 268000C  
PH. (07) 3028 9500 WWW.ADENBROOKHOMES.COM.AU

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I. & C. CONTE  
LOT 11 CURRAJONG STREET, BEACHES STAGE 1A  
EVANS HEAD 2473

SIGNATURES:  
\_\_\_\_\_  
BUILDER CLIENT

HOUSE: **isla**  
PLAN OPTION: -  
FACADE: **kalia**

TITLE: **site plan**

SCALE 1:200

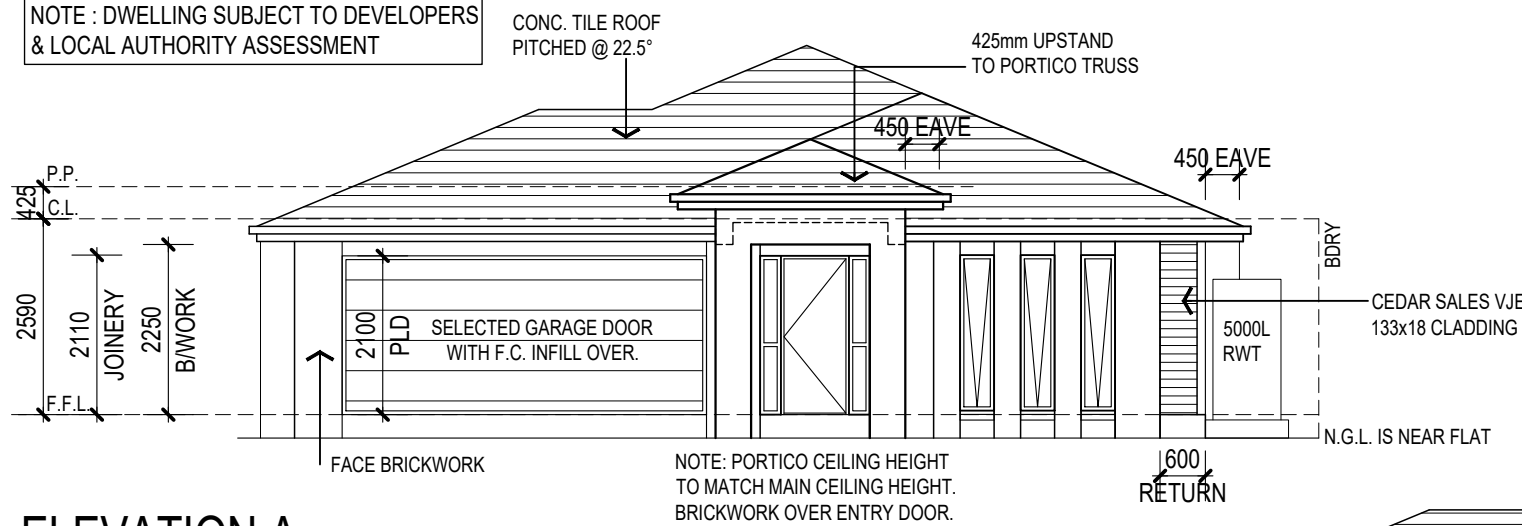
JOB NO: R0049

1/10

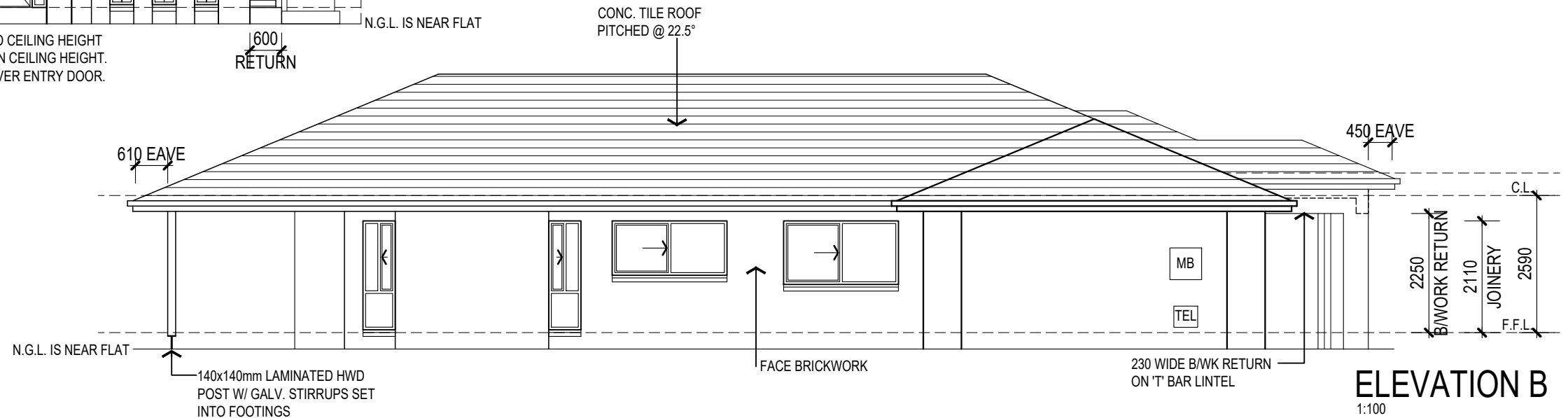




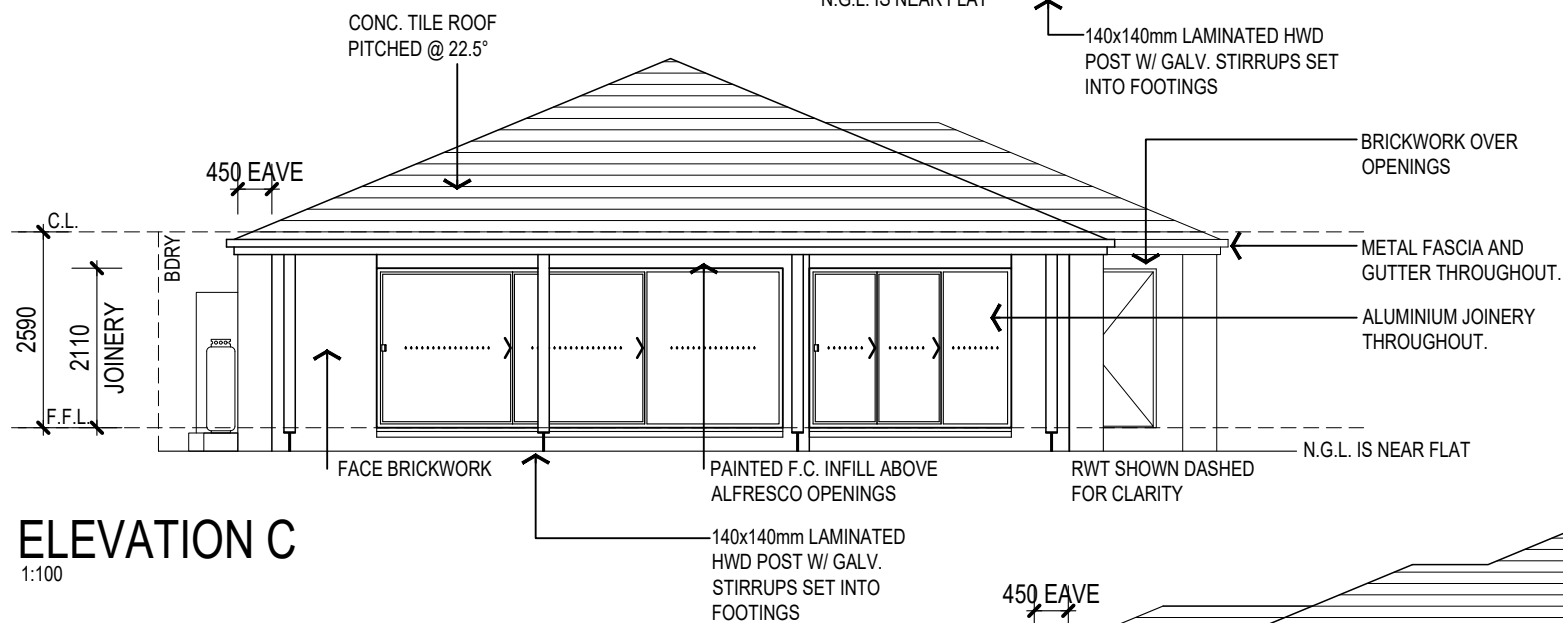
NOTE : DWELLING SUBJECT TO DEVELOPERS & LOCAL AUTHORITY ASSESSMENT



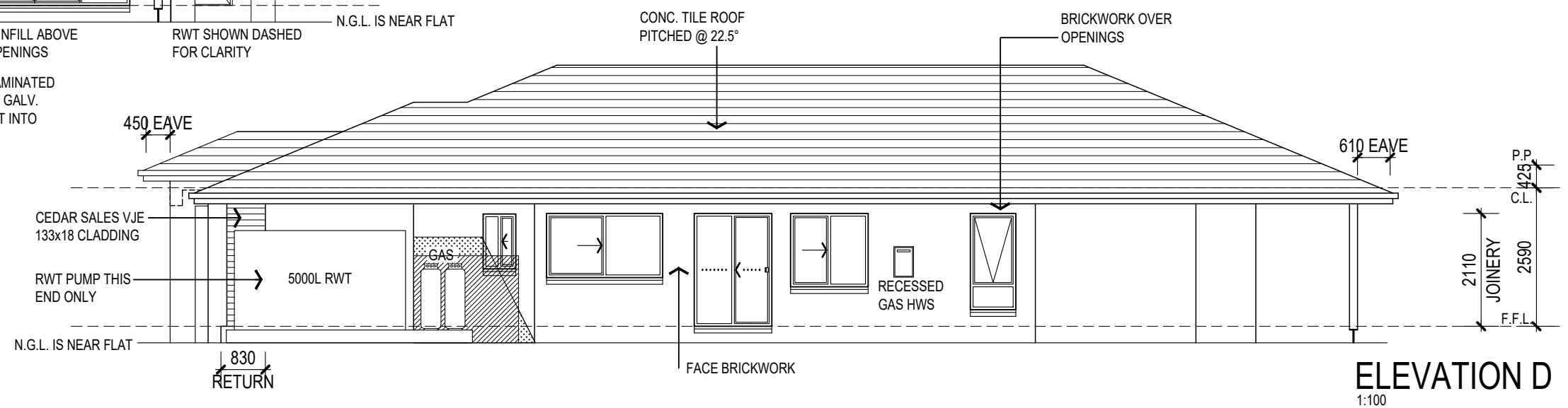
**ELEVATION A**  
1:100



**ELEVATION B**  
1:100



**ELEVATION C**  
1:100



**ELEVATION D**  
1:100

CONTRACT DRAWINGS

DATE: \_\_\_\_\_

AUTHORIZED: \_\_\_\_\_

- PROVIDE FOR WINDOWS IN BEDROOMS WHERE THE FLOOR IS OVER 2.0m ABOVE GROUND LEVEL WHERE THE SILL HEIGHT IS UNDER 1700mm FROM F.F.L. TO HAVE RESTRICTED OPENING OF 125mm OR APPROVED BARRIER SCREENS
- PROVIDE NOGGINGS TO BALCONY TO FIX BALUSTRADE POSTS FOR ANY BALUSTRADE SPAN OVER 3m.
- PROVIDE R1.5 INSULATION BATTS TO EXTERNAL WALLS WITH FIBRE CEMENT CLADDING.
- GROUNDS LINES SHOWN ARE APPROXIMATE ONLY AND MAY CHANGE DUE TO SITE CONDITIONS
- PROVIDE 40MM TIMBER BATTENS TO WALLS WITH FC OR TIMBER CLADDING
- F.F.L. IS DEFINED AS THE FINISHED SLAB LEVEL FOR SINGLE STOREY OR STRUCTURAL FLOOR LINING FOR 2 STOREY AND DOES NOT INCLUDE FLOOR FINISH.
- C.L. IS DEFINED AS THE UNDERSIDE OF THE TRUSSES OR FLOOR JOISTS AND DOES NOT INCLUDE CEILING LINING

DATE	REVISION	INITIAL	
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03/12/18	POOL + SHED LOCATIONS ADDED	F	3MK.
06/12/18	ELECTRICAL LAYOUT AMENDED	G	3MK.

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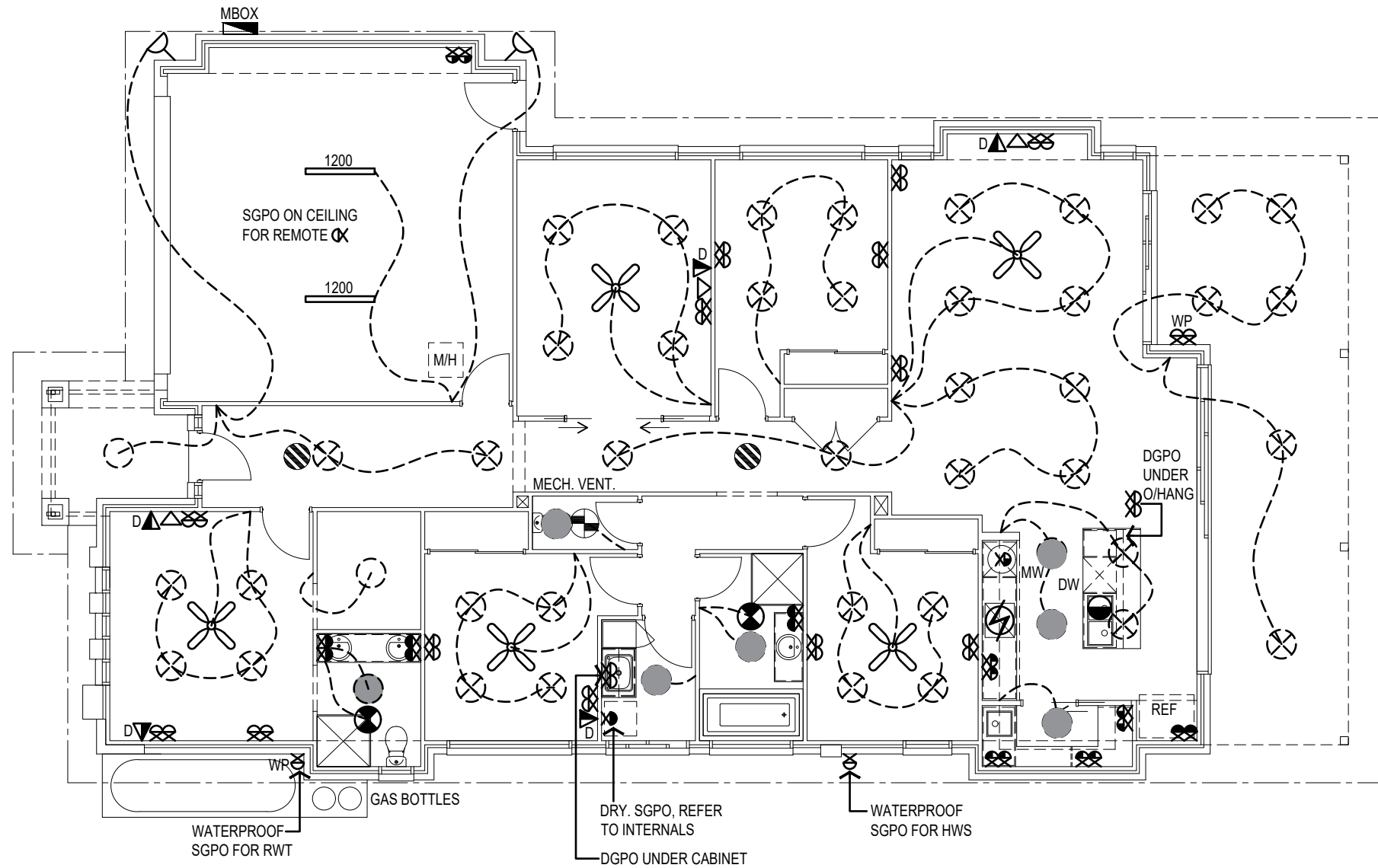
I. & C. CONTE  
LOT 11 CURRAJONG STREET, BEACHES STAGE 1A  
EVANS HEAD 2473  
SIGNATURES:  
\_\_\_\_\_  
BUILDER CLIENT

HOUSE: **isla**  
PLAN OPTION: -  
FACADE: **kalia**

TITLE: **elevations**  
SCALE 1:100  
JOB NO: R0049  
MASTER ISSUE A - 12/04/16

3/10

ELECTRICAL LEGEND	
	SINGLE GPO - 300mm
	SINGLE GPO - 1100mm
	SINGLE GPO - 1350mm
	SINGLE GPO - EXTERNAL
	SINGLE GPO - DW
	SINGLE GPO - MICROWAVE
	SINGLE GPO - SECURITY SYS.
	UBO, HP, RANGEHOOD CONNECTIONS
	DOUBLE GPO - 300mm
	DOUBLE GPO - 1100mm
	DOUBLE GPO - 1450mm
	TELEVISION POINT
	CAPPED GAS POINT
	SMOKE DETECTOR
	METER BOX
	PHONE/DATA POINT
	CEILING LIGHT BATTEN HOLDER
	LOW VOLTAGE DOWNLIGHT
	50mm DOWNLIGHT
	DOWNLIGHT AS SPECIFIED
	EXTERNAL LIGHT POINT
	CIRCULAR FLUORO
	HEATER/FAN LIGHT
	CEILING FAN
	CEILING FAN WITH LIGHT
	FLOOD LIGHT AS SPECIFIED
	SINGLE 1200 FLUORO
	DOUBLE 1200 FLUORO
	CEILING EXHAUST FAN SWITCHED WITH LIGHT
	CEILING EXHAUST FAN
	JUNCTION BOX



**CONTRACT DRAWINGS**

DATE: \_\_\_\_\_

AUTHORIZED: \_\_\_\_\_

- STANDARD SWITCH HEIGHT IS 1400mm SLAB HEIGHT
- QDC PART MP 4.1 SUSTAINABLE BUILDINGS - A MINIMUM OF 80% OF TOTAL FIXED INTERNAL LIGHTING MUST BE ENERGY EFFICIENT LIGHTING. A MAXIMUM OF 20% NON ENERGY EFFICIENT LIGHTING MAY BE INSTALLED TO DWELLING AS FEATURE LIGHTING
- ENERGY EFFICIENT LIGHTING IS DEFINED AS A GLOBE WITH A MINIMUM OUTPUT OF 30 LUMENS/WATT

DATE	REVISION	INITIAL	3MK.
08/05/18	CLIENT VARIATIONS	C	3MK.
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25/11/18	CONTOUR SURVEY + SOIL REPORT ADDED	E	3MK.
03/12/18	POOL + SHED LOCATIONS ADDED	F	3MK.
06/12/18	ELECTRICAL LAYOUT AMENDED	G	3MK.

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I. & C. CONTE  
 LOT 11 CURRAJONG STREET, BEACHES STAGE 1A  
 EVANS HEAD 2473

SIGNATURES:  
 \_\_\_\_\_ BUILDER      \_\_\_\_\_ CLIENT

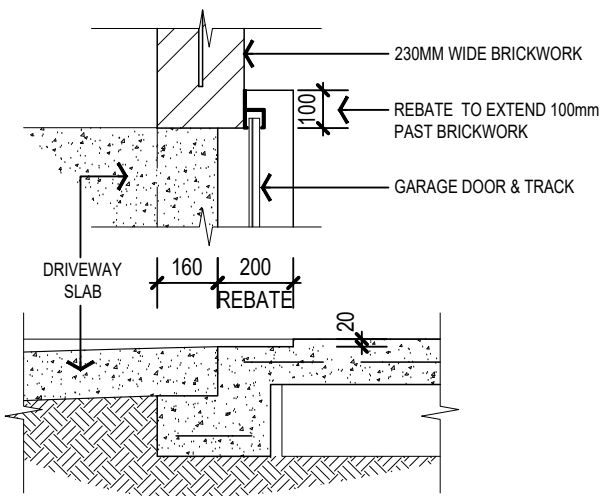
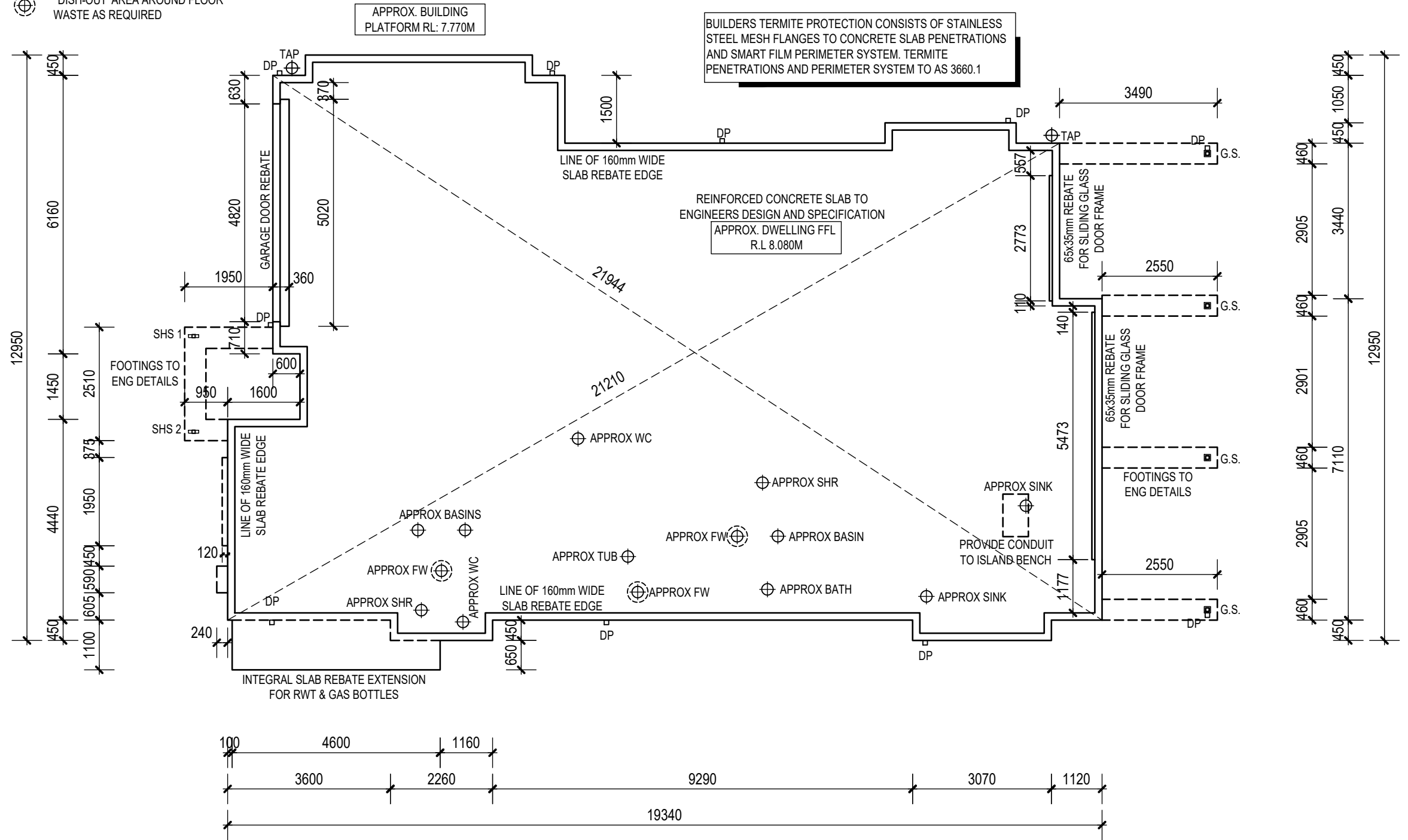
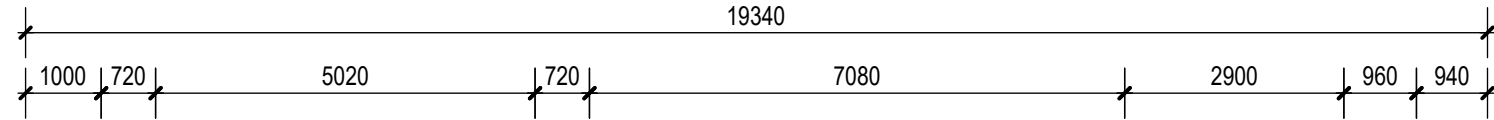
HOUSE: **isla**  
 PLAN OPTION: -  
 FACADE: **kalia**

TITLE: **electrical**  
 SCALE 1:100  
 JOB NO: R0049  
 MASTER ISSUE A - 12/04/16

**4/10**

35mm RECESS FOR SHOWER BASE

'DISH-OUT' AREA AROUND FLOOR WASTE AS REQUIRED

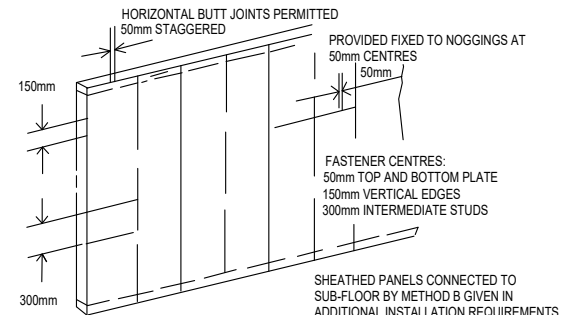
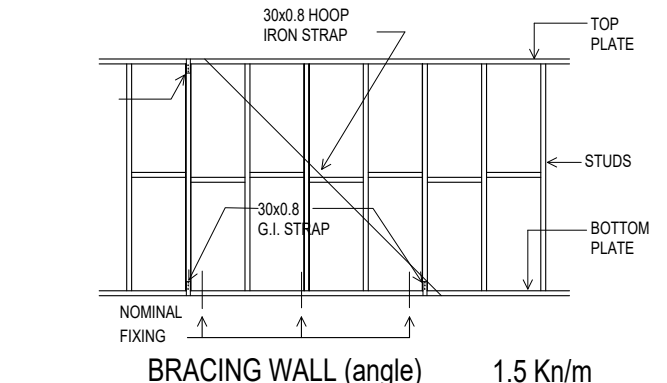
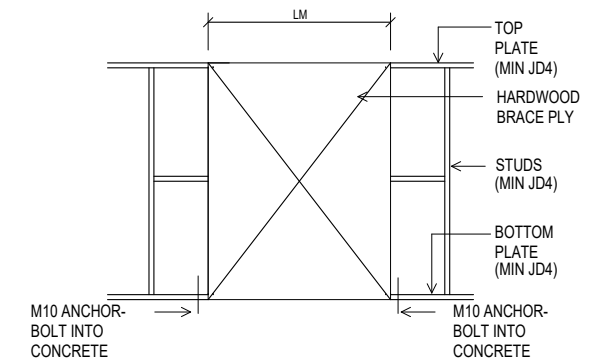
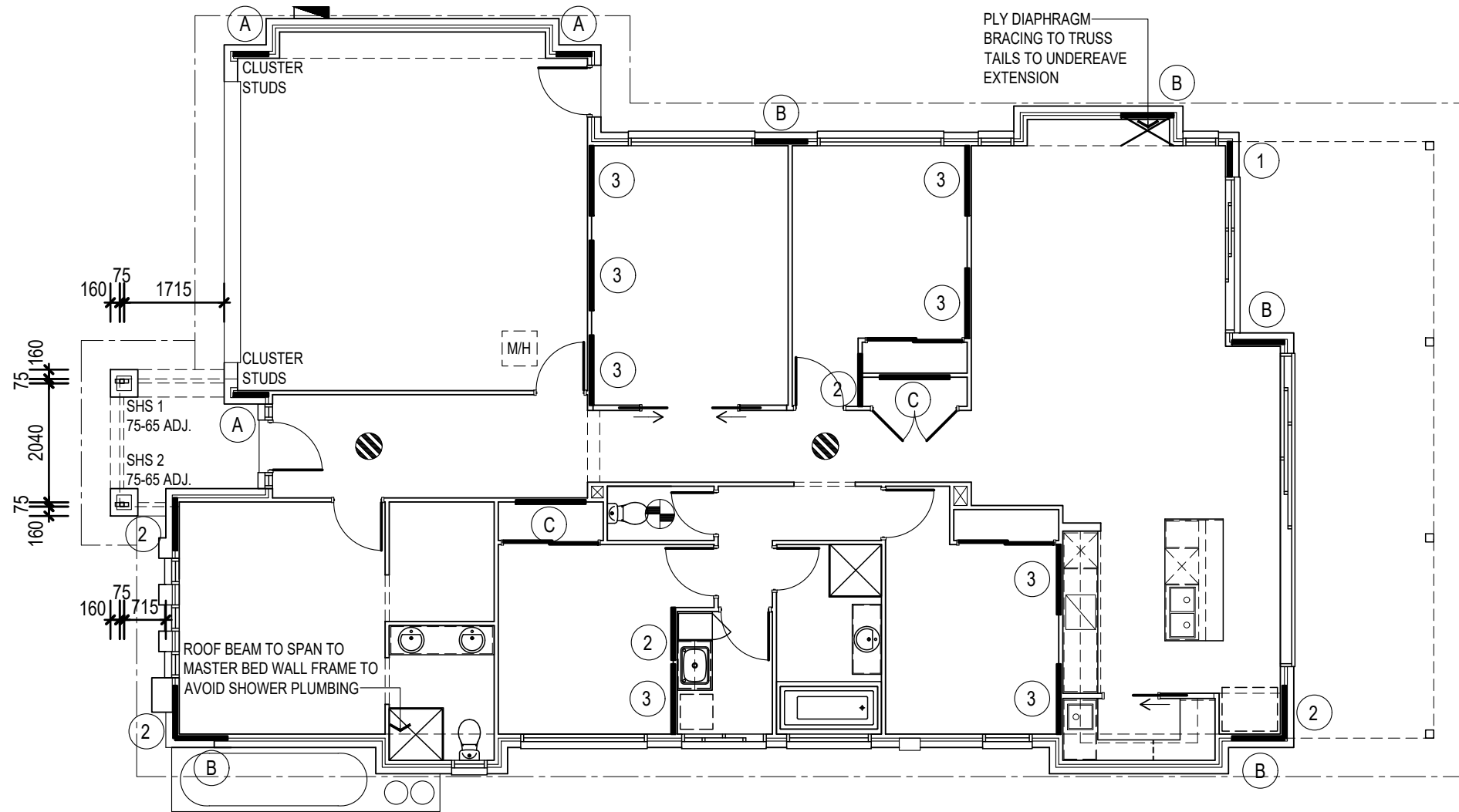


TYPICAL GARAGE RECESS DETAIL

SCALE 1:20

**CONTRACT DRAWINGS**  
 DATE: \_\_\_\_\_  
 AUTHORIZED: \_\_\_\_\_

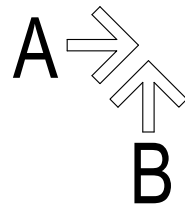
BUILDERS TERMITE PROTECTION CONSISTS OF STAINLESS STEEL MESH FLANGES TO CONCRETE SLAB PENETRATIONS AND A SMART FILM PERIMETER SYSTEM. TERMITE PENETRATIONS AND PERIMETER SYSTEM TO AS 3660.1	DATE	REVISION	INITIAL	<b>adenbrookhomes</b> 206 LOGAN RD, WOOLLOONGABBA QLD 4102 LICENCE NO: 268000C PH. (07) 3028 9500 WWW.ADENBROOKHOMES.COM.AU <small>*This work is exclusively owned by AB (Aust) Services Pty Ltd and cannot be reproduced or copied, either wholly or in part, in any form (graphic, electronic or mechanical, including photocopying) without the written permission of AB (Aust) Services Pty Ltd*.</small>	I. & C. CONTE	HOUSE:	TITLE:	
	08/05/18	CLIENT VARIATIONS	C 3MK.			LOT 11 CURRAJONG STREET, BEACHES STAGE 1A	<b>isla</b>	<b>slab plan</b>
	07/06/18	CONTRACT ISSUE (INCL. NHP#3+PTVR#2)	D 3MK.			EVANS HEAD 2473	PLAN OPTION: -	SCALE 1:100
	25/11/18	CONTOUR SURVEY + SOIL REPORT ADDED	E 3MK.			SIGNATURES:	FACADE:	JOB NO: R0049
	03/12/18	POOL + SHED LOCATIONS ADDED	F 3MK.			_____ BUILDER	<b>kalia</b>	MASTER ISSUE A - #####
	06/12/18	ELECTRICAL LAYOUT AMENDED	G 3MK.			_____ CLIENT		<b>5/10</b>



### BRACING SCHEDULE - N3

BRACING DIRECTION A REQUIRED = 33.0kN				
WALL	TYPE	RESISTANCE (kN)	QTY	TOTAL
A	STRUCTURAL PLY 600mm	3.6	3	10.80
B	STRUCTURAL PLY 900mm	5.4	5	27.00
C	STRUCTURAL PLY 1200mm	7.2	2	14.40
TOTAL RESISTANCE				52.20

BRACING DIRECTION B REQUIRED = 77.4kN				
WALL	TYPE	RESISTANCE (kN)	QTY	TOTAL
1	STRUCTURAL PLY 600mm	3.6	1	3.60
2	STRUCTURAL PLY 900mm	5.4	4	21.60
3	STRUCTURAL PLY 1200mm	7.2	8	57.60
TOTAL RESISTANCE				82.80



CONTRACT DRAWINGS

DATE: \_\_\_\_\_

AUTHORIZED: \_\_\_\_\_

NOTE: BEAM AND LINTEL SIZES TO BE AS PER FRAME MANUFACTURERS SPECIFICATIONS. DETAILS TO BE PROVIDED TO INSPECTOR PRIOR TO CARRYING OUT FRAME INSPECTIONS.

DATE	REVISION	INITIAL
08/05/18	CLIENT VARIATIONS	C 3MK.
07/06/18	CONTRACT ISSUE (INCL. NHP#3+PTVR#2)	D 3MK.
25/11/18	CONTOUR SURVEY + SOIL REPORT ADDED	E 3MK.
03/12/18	POOL + SHED LOCATIONS ADDED	F 3MK.
06/12/18	ELECTRICAL LAYOUT AMENDED	G 3MK.

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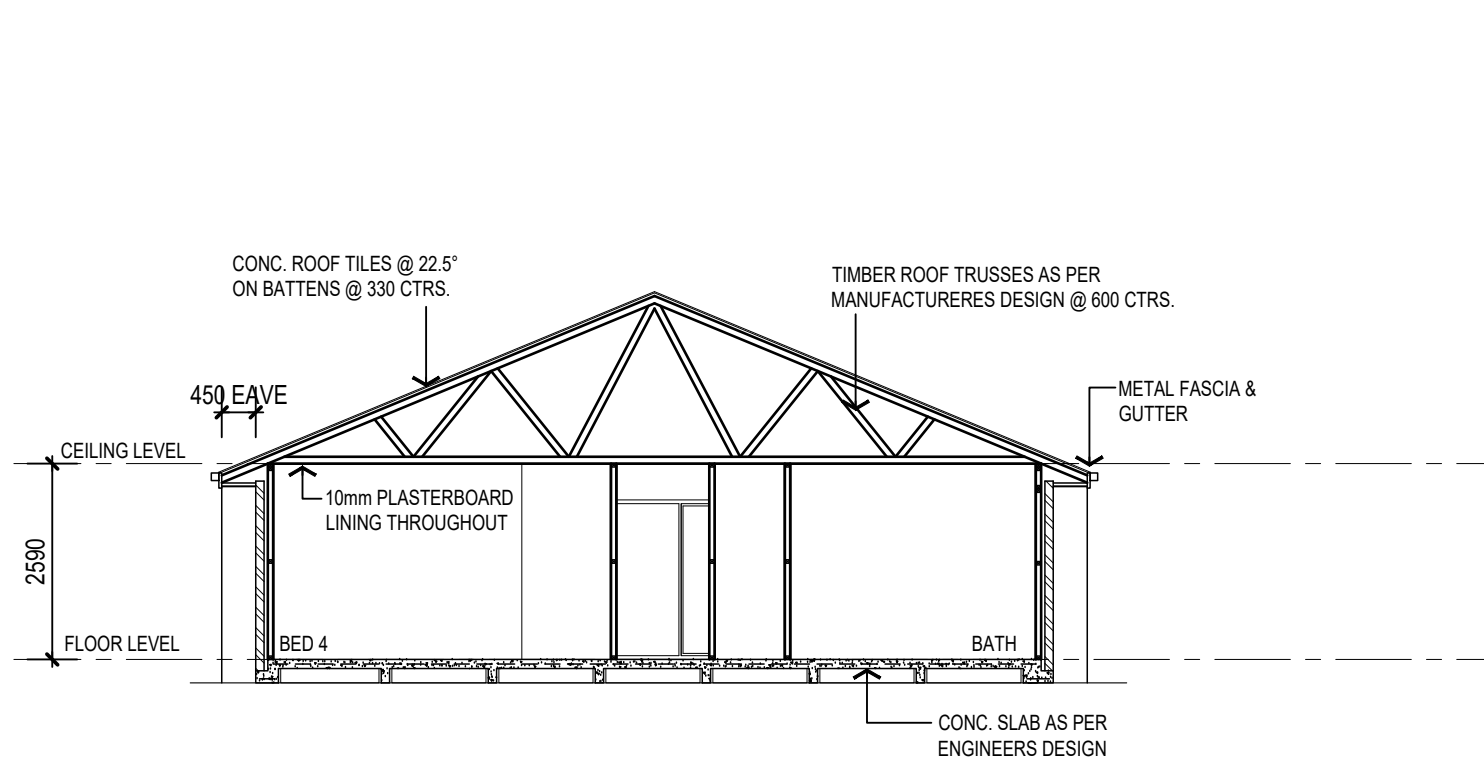
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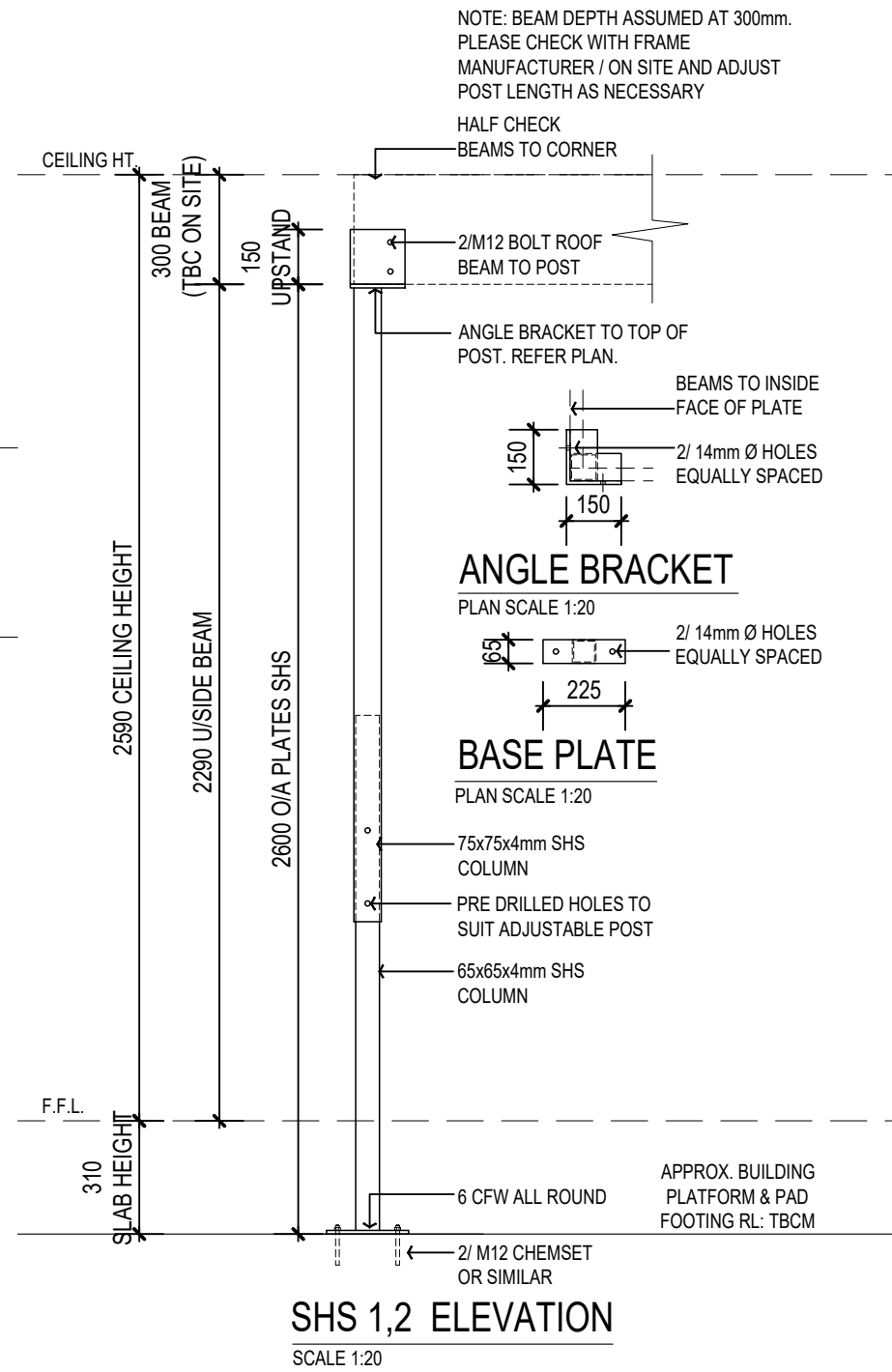
I. & C. CONTE  
 LOT 11 CURRAJONG STREET, BEACHES STAGE 1A  
 EVANS HEAD 2473  
 SIGNATURES: \_\_\_\_\_  
 BUILDER CLIENT

HOUSE: **isla**  
 PLAN OPTION: -  
 FACADE: **kalia**

TITLE: **bracing plan**  
 SCALE 1:100  
 JOB NO: R0049  
 MASTER ISSUE A - 12/04/16 6/10



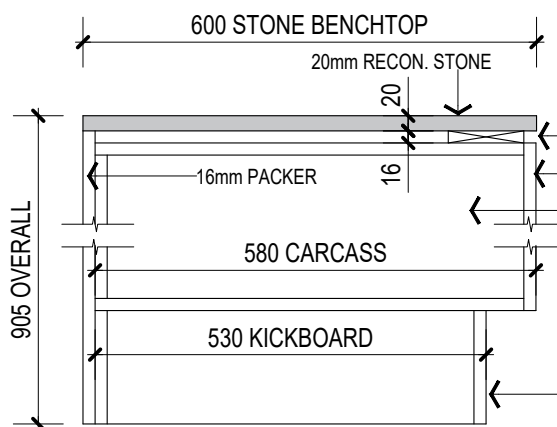
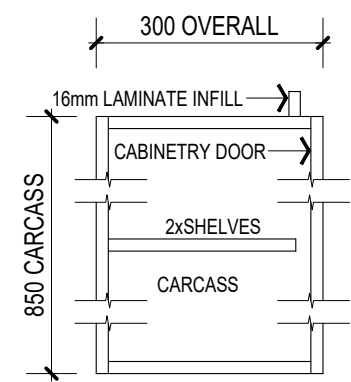
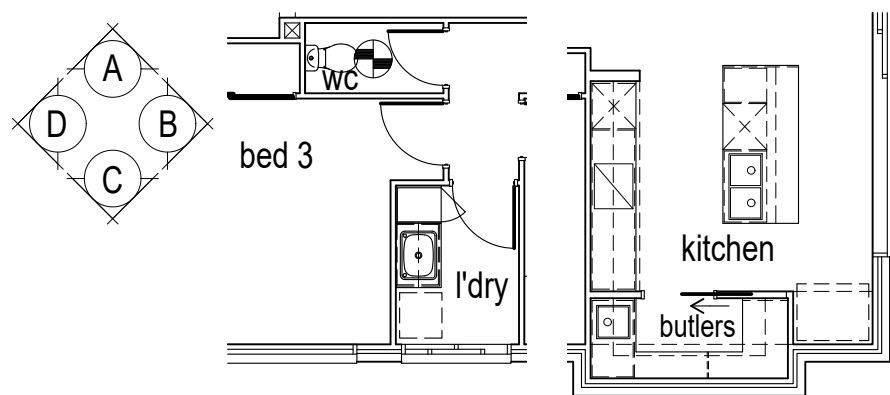
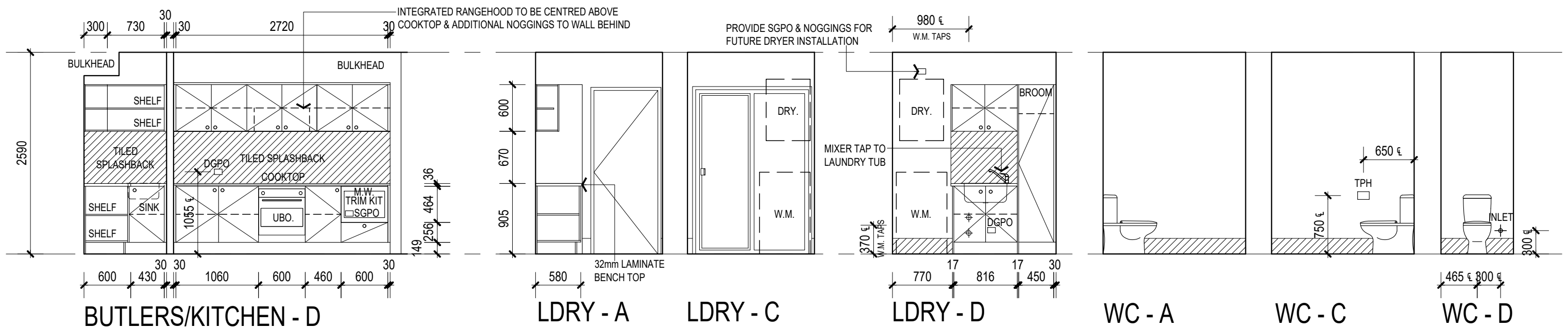
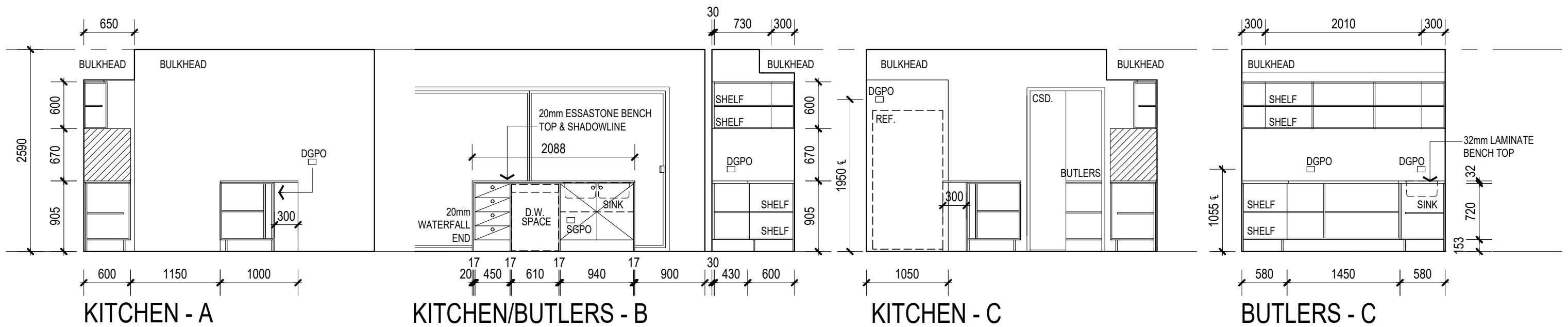
SECTION X-X



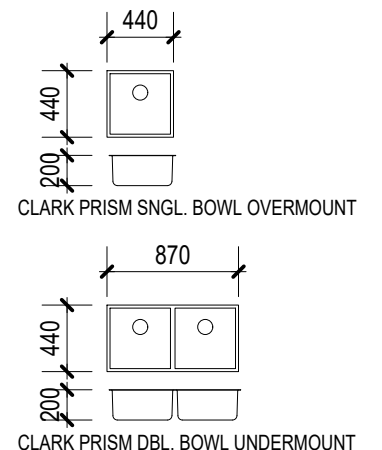
SHS 1,2 ELEVATION  
SCALE 1:20

**CONTRACT DRAWINGS**  
DATE: \_\_\_\_\_  
AUTHORIZED: \_\_\_\_\_

DATE	REVISION	INITIAL	adenbrookhomes		I. & C. CONTE	HOUSE:	TITLE:		
08/05/18	CLIENT VARIATIONS	C	3MK.	206 LOGAN RD, WOOLLOONGABBA QLD 4102 PH. (07) 3028 9500	LOT 11 CURRAJONG STREET, BEACHES STAGE 1A	isla	details		
07/06/18	CONTRACT ISSUE (INCL. NHP#3+PTVR#2)	D	3MK.		LICENCE NO: 268000C WWW.ADENBROOKHOMES.COM.AU	EVANS HEAD 2473	PLAN OPTION: -	SCALE AS SHOWN	
25/11/18	CONTOUR SURVEY + SOIL REPORT ADDED	E	3MK.		*This work is exclusively owned by AB (Aust) Services Pty Ltd and cannot be reproduced or copied, either wholly or in part, in any form (graphic, electronic or mechanical, including photocopying) without the written permission of AB (Aust) Services Pty Ltd.*	SIGNATURES:	FACADE:	JOB NO: R0049	
03/12/18	POOL + SHED LOCATIONS ADDED	F	3MK.			_____ BUILDER _____ CLIENT	kalia	MASTER ISSUE A - 12/04/16	7/10
06/12/18	ELECTRICAL LAYOUT AMENDED	G	3MK.						



NOTE:  
CARCASS TO BE PACKED 16mm OFF WALL SO AS CABINETRY DOOR IS 4mm FROM EDGE OF STONE (CONSIDERED FLUSH)



**CONTRACT DRAWINGS**  
DATE: \_\_\_\_\_  
AUTHORIZED: \_\_\_\_\_

NOTE: ALL DIMENSIONS SHOWN TO VANITY CABINETS & TAP HEIGHTS ARE FROM FINISHED FLOOR LEVEL. ALLOWANCE SHOULD BE MADE FOR THE MORTAR BED WHERE APPLICABLE. TILING AND SHOWER SCREEN DIMENSIONS ARE NOMINAL AND ARE SUBJECT TO VARIATION. WHERE THE MIRROR IS ALIGNED WITH THE TOP OF TILES, MIRROR HEIGHT TO BE ADJUSTED TO SUIT ANY VARIANCE IN TILING HEIGHT.

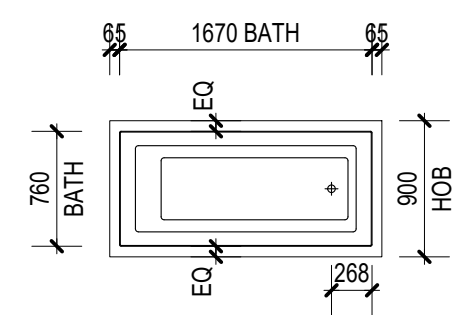
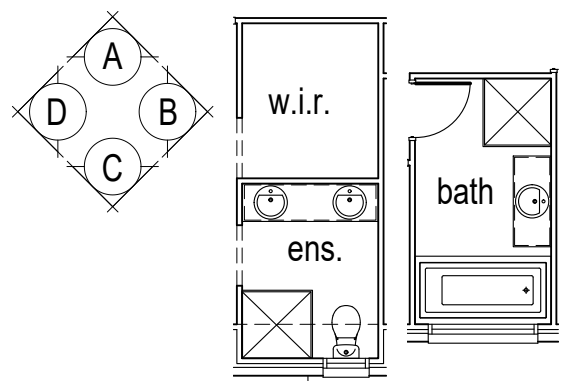
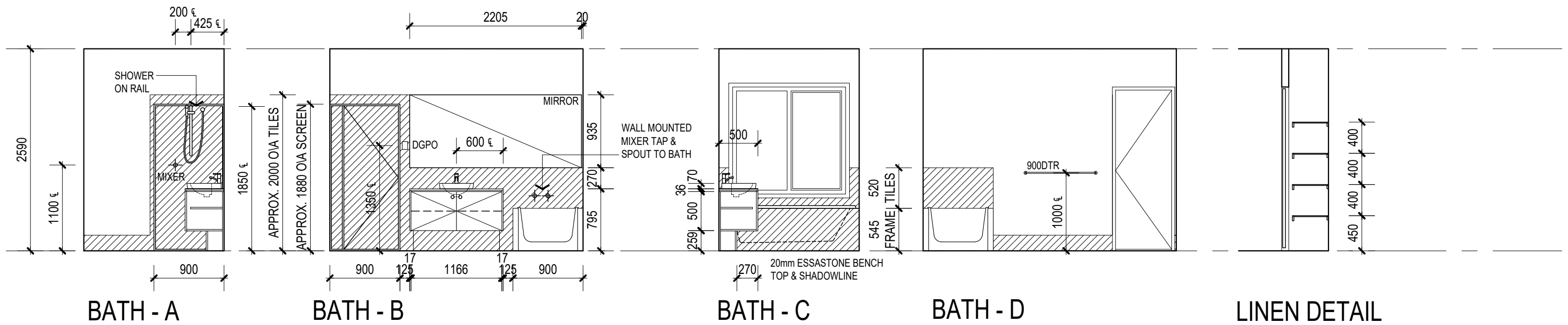
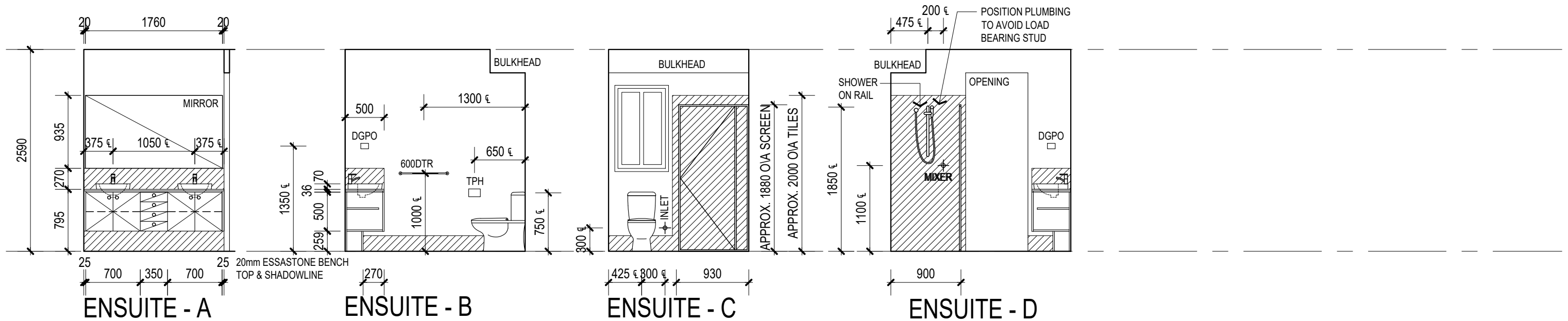
DATE	REVISION	INITIAL
08/05/18	CLIENT VARIATIONS	C 3MK.
07/06/18	CONTRACT ISSUE (INCL. NHP#3+PTVR#2)	D 3MK.
25/11/18	CONTOUR SURVEY + SOIL REPORT ADDED	E 3MK.
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06/12/18	ELECTRICAL LAYOUT AMENDED	G 3MK.

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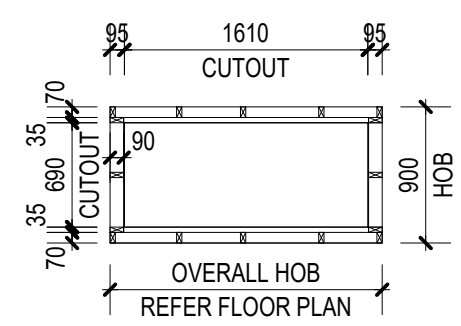
I. & C. CONTE  
LOT 11 CURRAJONG STREET, BEACHES STAGE 1A  
EVANS HEAD 2473  
SIGNATURES: \_\_\_\_\_  
BUILDER CLIENT

HOUSE: **isla**  
PLAN OPTION: -  
FACADE: **kalia**

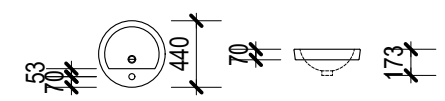
TITLE: **internals 1**  
SCALE 1:50 INTERNAL VIEW 1:100 PLAN  
JOB NO: R0049  
MASTER ISSUE A - 12/04/16  
**8/10**



**BATH DETAIL**  
-CAROMA NEWBURY 1675



**BATH CUTOUT DETAIL**  
-CAROMA NEWBURY 1675



**BASIN DETAIL**  
-CAROMA COSMO ABOVE COUNTER

**CONTRACT DRAWINGS**  
DATE: \_\_\_\_\_  
AUTHORIZED: \_\_\_\_\_

NOTE: ALL DIMENSIONS SHOWN TO VANITY CABINETS & TAP HEIGHTS ARE FROM FINISHED FLOOR LEVEL. ALLOWANCE SHOULD BE MADE FOR THE MORTAR BED WHERE APPLICABLE. TILING AND SHOWER SCREEN DIMENSIONS ARE NOMINAL AND ARE SUBJECT TO VARIATION. WHERE THE MIRROR IS ALIGNED WITH THE TOP OF TILES, MIRROR HEIGHT TO BE ADJUSTED TO SUIT ANY VARIANCE IN TILING HEIGHT.

DATE	REVISION	INITIAL	3MK.
08/05/18	CLIENT VARIATIONS	C	3MK.
07/06/18	CONTRACT ISSUE (INCL. NHP#3+PTVR#2)	D	3MK.
25/11/18	CONTOUR SURVEY + SOIL REPORT ADDED	E	3MK.
03/12/18	POOL + SHED LOCATIONS ADDED	F	3MK.
06/12/18	ELECTRICAL LAYOUT AMENDED	G	3MK.

**adenbrookhomes**  
206 LOGAN RD, WOOLLOONGABBA QLD 4102  
PH. (07) 3028 9500  
LICENCE NO: 268000C  
WWW.ADENBROOKHOMES.COM.AU

I. & C. CONTE  
LOT 11 CURRAJONG STREET, BEACHES STAGE 1A  
EVANS HEAD 2473  
SIGNATURES: \_\_\_\_\_  
BUILDER CLIENT

HOUSE: **isla**  
PLAN OPTION: -  
FACADE: **kalia**

TITLE: **internals 2**  
SCALE 1:50 INTERNAL VIEW 1:100 PLAN  
JOB NO: R0049  
MASTER ISSUE A - 12/04/16  
**9/10**



# BASIX REQUIREMENTS

**WATER REQUIREMENTS**

Landscape:

- Total Area of Garden and Lawn 100 m<sup>2</sup>
- Area of Indigenous Species or Low Water Use Species (as per basix)m<sup>2</sup>

Fixtures:

- Showerhead Rating must be a min. 3 Star Energy Efficiency Rating to all showers
- Toilet Rating must be a min. 4 Star Energy Efficiency Rating to all toilets
- Kitchen Taps Rating must be a min. 3 Star Energy Efficiency Rating
- Bathroom Basin Taps Rating must be a min. 3 Star Energy Efficiency Rating

Alternative Water:

- Alternative Water Supply:
  - All toilets connected to alternative reticulated recycled water supply
  - Outdoor Tap (minimum one) connected to alternative reticulated recycled water supply

**THERMAL REQUIREMENTS**

- Refer to BASIX report for window glazing requirements
- Eaves to project at least 600mm (including gutter)
- Wall insulation to be installed to external walls to achieve minimum total R value R 1.0 to external timber framed walls (not between house & garage).
- R 1.5 batts to be installed to external walls to achieve minimum total R value R 1.0 to external timber framed walls.
- Insulation batts to roof space with a total minimum R value of R 3.0 (excluding garage & alfresco)

**ENERGY REQUIREMENTS**

Hot Water:

Hot Water System: Instantaneous Gas

Heating and Cooling:

- The Living areas and bedrooms DO NOT incorporate a reverse cycle cooling / heating system

Ventilation:

- Bathroom exhaust system: individual fan, not ducted. Operational Control manual Off/On switch
- Kitchen exhaust system individual fan, not ducted. Operational Control manual Off/On switch
- Laundry exhaust system: Natural Ventilation only. Operational Control N/A

Artificial Lighting:

- Following rooms must have Fluorescent or LED as there "primary type of artificial Lighting":
  - 4 x Bedrooms and 2 living/dining areas
- Following rooms only capable of accepting Fluorescent or LED Lighting:
  - 4 x Bedrooms and 2 living/dining areas

Natural Lighting:

- There must be a window and/or skylight installed in the kitchen for natural lighting (borrowed from family / meals)
- The 2 bathroom(s)/toilet(s) must have a window and/or skylight for natural lighting.

Other:

- The applicant proposes to install an electrical cooktop & electrical oven in the kitchen
- The refrigerator space in the development must be constructed so that it is "well ventilated", as defined in the BASIX definitions.

**FIRE RATING**

BAL: TO BE CONFIRMED UPON RECEIPT OF ASSESSMENT

# N3 TIE-DOWN SCHEDULE

JOINT GROUP	JD5
ULW	7500 max.
ROOF SHEETING	CONCRETE TILE
TRUSS SPACING	600
BATTEN SPACING	330
Batten to Truss _____ As per manufacturers specifications	
Truss to Top Plate _____ Two framing anchor with 4/2.8mm dia. nails each leg.	
Plates to Studs _____ AT 900 ctrs 30x0.8mm G.I.Strap with 6/2.8mm dia. nails each end.	
Btm Plate to Slab _____ 1/M10 bolt to ends of openings and at 1200 centres.	
Lintel to Jamb Stud _____ 30x0.8mm G.I.Strap with 4/2.8mm dia.nails each end at 1200 max ctrs	
Refer AS 1684.2 Timber Framing Manual for more detail.	

# BRICK LINTEL TABLE

SPAN NOT EXCEEDING	LINTEL SIZE
1.0m clear span	75x10mm Flat Bar
1.5m clear span	100x75x8 Angle
2.4m clear span	125x75x10 Angle
3.0m clear span	150x100x10 Angle
3.6m clear span	150x100x10 Angle
4.2m clear span	150x100x12 Angle

TIE DOWN REQUIREMENTS SHOWN IN TABLE ARE CALCULATED ON MAXIMUM UPLIFT LOAD WIDTH. FRAME/TRUSS MANUFACTURERS SPECIFICATIONS WILL TAKE PRECEDENCE WHERE THEY DIFFER FROM TIE DOWN TABLE.

# TIMBER FRAMING SCHEDULE

RLW	6500 max.
ROOF PITCH	25°
Roof Battens _____	Timber/Metal battens @ 330 centres
Roof Trusses _____	Engineer designed and fixed at 600 crs in accordance with manufacturers specifications.
Lintels, _____ As per manufacturers specifications. Verandah plates and posts etc.	
<b>EXTERNAL WALLS &amp; INTERNAL LOAD BEARING WALLS</b> MGP 10/12 (LOAD DEPENDANT)	
Top Plate _____	2/35x70 Ribbon Plate
Studs _____	70x35 at 450 crs
Nogging _____	70x35 One row
Btm Plate _____	35x70 Continuously supported on slab
<b>INTERNAL PARTITION WALLS</b> MGP 10 U.N.O.	
Top Plate _____	35x70
Studs _____	70x35 at 600 crs
Nogging _____	70x35 One row.
Btm Plate _____	35x70 Continuously supported on slab
Member sizes calculated using 'Timber Solutions' software version 1.2	

# STUDS AT SIDES OF OPENINGS

OPENING WIDTH	900	1200	1500	1800	2100	2400	2700	3000
No. OF STUDS REQUIRED	1	1	2	2	2	2	3	3

# STUDS AT SPECIAL TRUSSES

No. of studs required under Girder Truss Point Load _____	3
No. of studs required under Truncated Girder Truss Point Load _____	2

**CONTRACT DRAWINGS**

DATE: \_\_\_\_\_

AUTHORIZED: \_\_\_\_\_

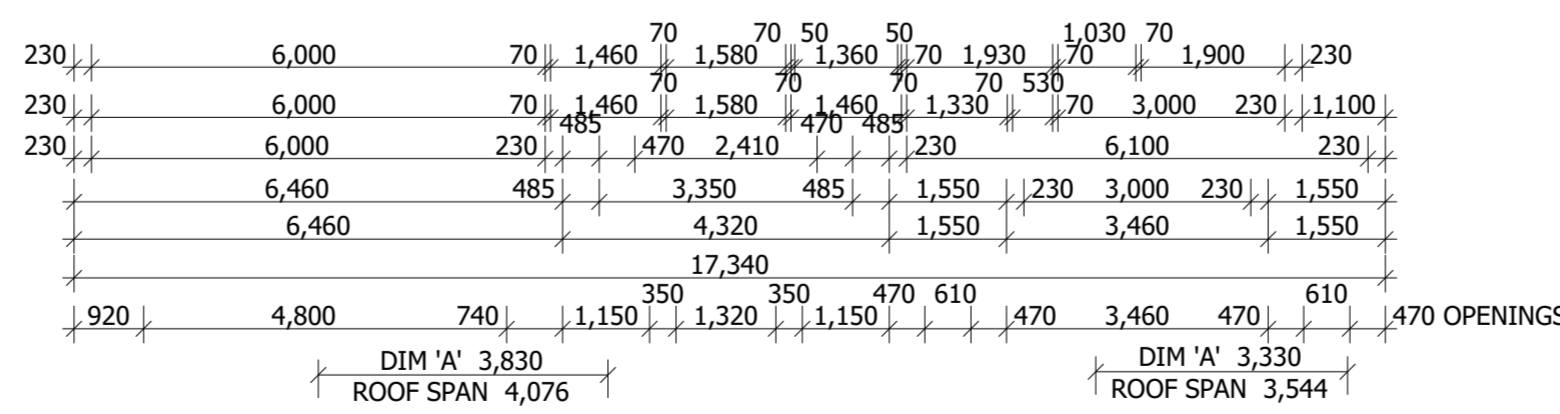
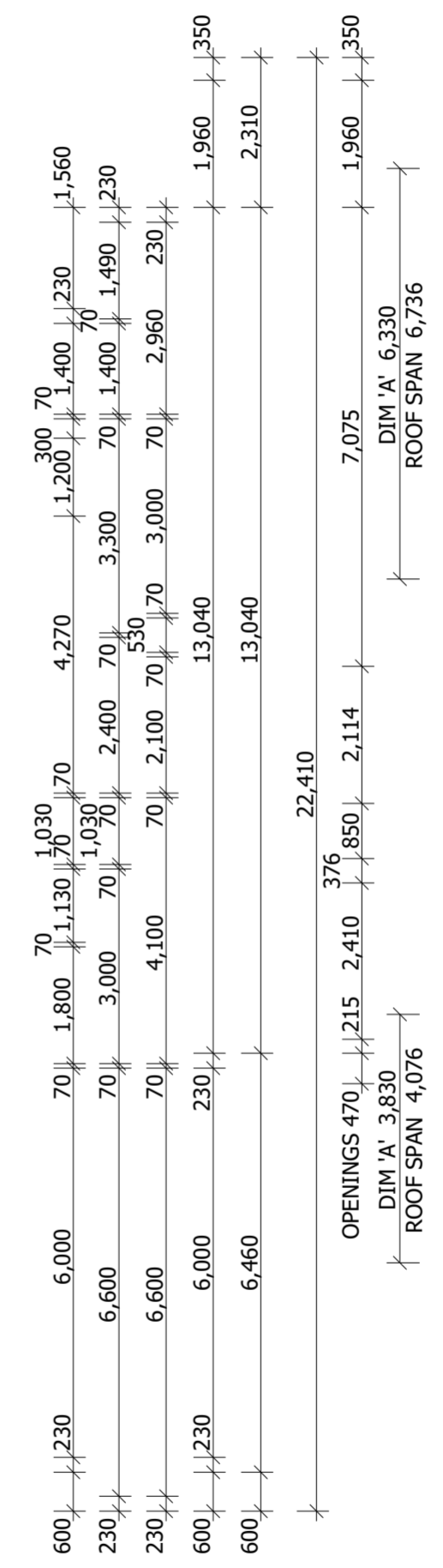
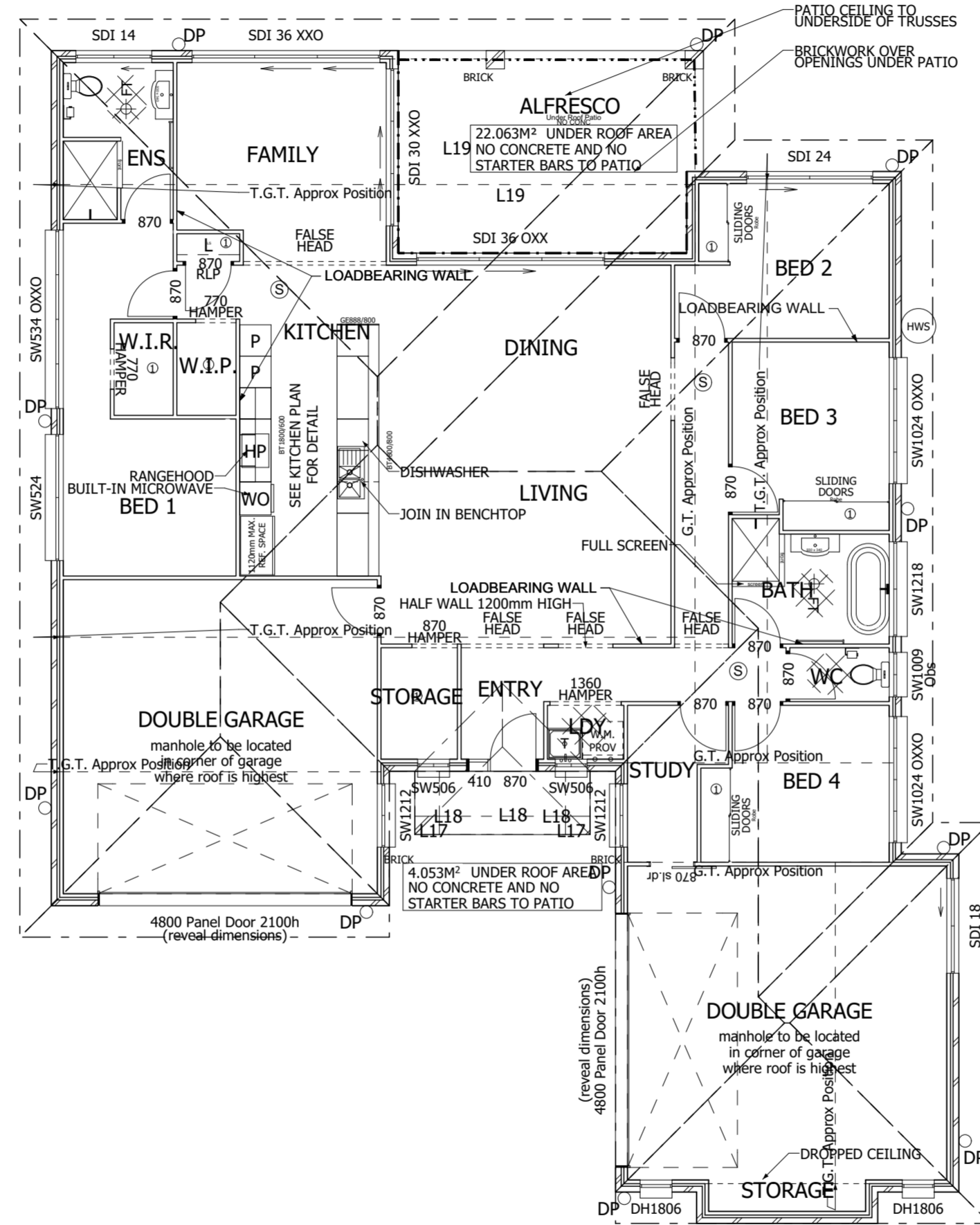
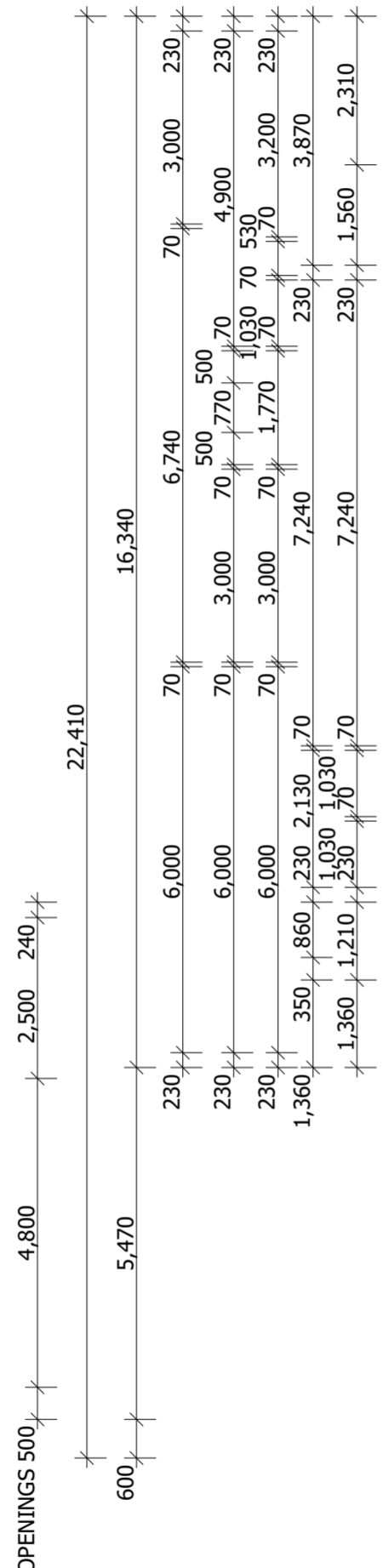
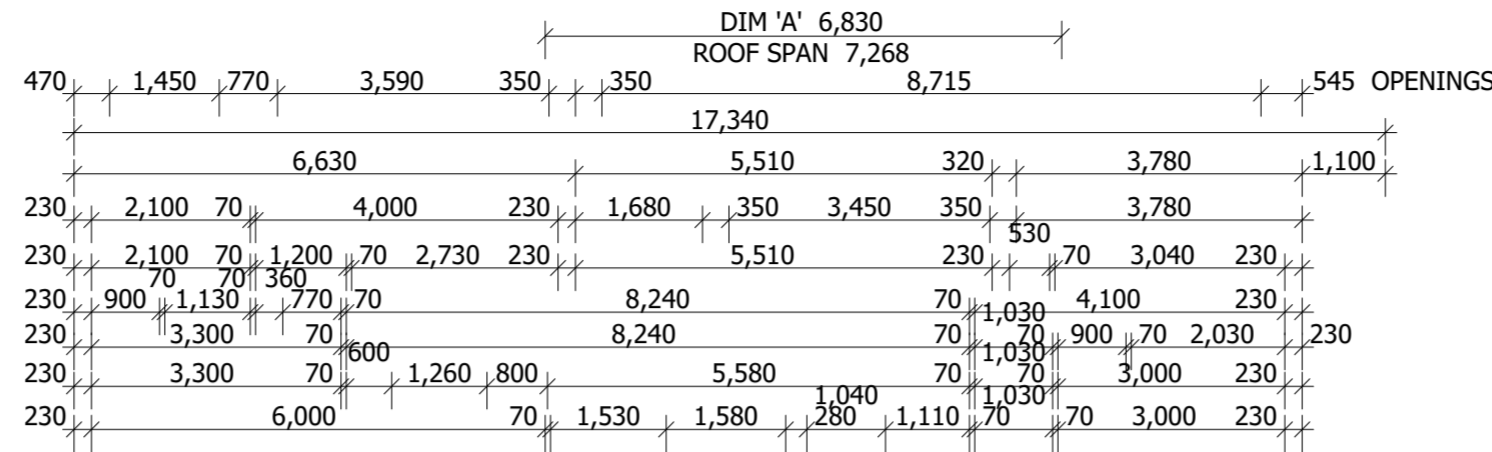
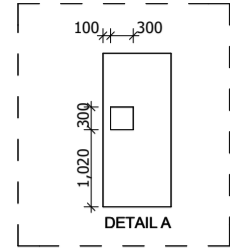
DATE	REVISION	INITIAL	adenbrookhomes	I. & C. CONTE	HOUSE:	TITLE:
08/05/18	CLIENT VARIATIONS	C 3MK.	206 LOGAN RD, WOOLLOONGABBA QLD 4102 PH. (07) 3028 9500 LICENCE NO: 268000C WWW.ADENBROOKHOMES.COM.AU <small>*This work is exclusively owned by AB (Aust) Services Pty Ltd and cannot be reproduced or copied, either wholly or in part, in any form (graphic, electronic or mechanical, including photocopying) without the written permission of AB (Aust) Services Pty Ltd*.</small>	LOT 11 CURRAJONG STREET, BEACHES STAGE 1A	isla	basix/tie-down
07/06/18	CONTRACT ISSUE (INCL. NHP#3+PTVR#2)	D 3MK.		EVANS HEAD 2473	PLAN OPTION: -	SCALE N/A
25/11/18	CONTOUR SURVEY + SOIL REPORT ADDED	E 3MK.		SIGNATURES:	FACADE:	JOB NO: R0049
03/12/18	POOL + SHED LOCATIONS ADDED	F 3MK.		_____ BUILDER _____ CLIENT	kalia	10/10
06/12/18	ELECTRICAL LAYOUT AMENDED	G 3MK.				MASTER ISSUE A - #####

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bm0uhxdgdw

ROOF PITCH 20° OVERHANG 600mm

STEEL FRAME AND ROOF TRUSSES AS PER ENGINEER SPECIFICATIONS



SOLAR PANELS TO BE POSITIONED ON HOUSE ONCE SITE INFO BECOMES AVAILABLE

FLOOR PLAN NOT TO SCALE UNLESS ON A2 PAGE

Table with 2 columns: FLOOR AREA (262.51M2), PORCH/CARPORT AREA (26.11M2), PATIO % OF FOOTPRINT (9.0%), SCALE (1:100), ROOF (Metal 20°), EXT WALL (70F/50/110B), CEILING HT (2,440), WIND RATING (N3), LINTELS.

L1785 x 8 FLAT BAR MIN 90mm END SUPPORT L18 100 x 100 x 6 ANGLE L19 150 x 100 x 8 ANGLE MIN 150mm END SUPPORT L20 100 x 100 x 10 EQUAL ANGLE WITH 200 X 6 MS PLATE STITCH WELDED TO BACK MIN 150 END SUPPORT

Beams and lintels may be substituted by the builder with suitable alternative product Shower head with less than 900mm long hose. Connection to mounted 1300mm above floor level

WINDOWS: PV-Permanent Vent OBS-Obscure Safety Glass SG-Safety Glass X-Removable Panel O-Fixed Panel CB-Colonial Bars FT-Fixture Trap. Not floor waste

Josh & Michelle SAUER Lot 12 Currajong St EVANS HEAD, NSW 2473 DP TBA MAP REF. UBD

REFER TO ELEVATIONS FOR ALL CONSTRUCTION NOTES COMPLIANCE INDEMNITY The owner confirms that the land and the dwelling are not subject to Town Planning conditions and/or covenants which require the developer's and/or local authority approvals, and the owner indemnifies the builder and designer against any loss however sustained due to the failure to ensure compliance. DEVELOPER/AGENT: DATE: COVENANT APPROVAL: DATE: Only sign if 100% correct. If not correct please contact your consultant. CLIENT: DATE: BUILDER: DATE: NOT TO BE MODIFIED WITHOUT WRITTEN AUTHORITY

TAMAWOOD LTD. LIC: 25373 (QLD) 74366 (NSW) DRAWN BY: TRD/31/10/2018 DRAWN FOR: Tamawood Homes



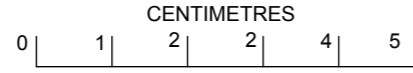
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1300 10 10 10 JOB 124997 SC7103

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AUTHORISED USER: PERRY HOMES

**! BOUNDARY ALERT !**  
BOUNDARY PEGS ARE REQUIRED  
PRIOR TO CONSTRUCTION

**Minimum FLOOR LEVEL**  
The design floor level is to be confirmed upon release of approved plans. A concrete slab in flood zones or critical height zones require a survey certificate prior to the pouring of the concrete slab.



**DESIGNER TO CHECK TITLE COVENANTS**  
A full boundary survey is required to certify the accuracy of any survey pegs found. This is mandatory prior to construction. The lot title is to be inspected by the designer to ensure all easements, covenants, rights, restrictions and encumbrances on the title are complied with in the design.

**DESIGNER TO CHECK SERVICES**  
This plan represents visual topographical detail only. The nature and position of any underground services was not investigated at the time of survey. The position of services may have been obtained from a combination of visual observation and/or records obtained from the relevant service providers.

www.1100.com.au  
**WARNING: UNDERGROUND SERVICES**  
LOCATE BEFORE DIGGING  
Prior to demolition, excavation and construction on the site the relevant service providers are to be contacted by the builder for detailed location of existing underground services.

**! AHD ALERT !**  
AHD FLOOR LEVEL  
CERTIFICATE REQUIRED

Notes are integral to the use of the plan

**IF IN DOUBT ASK!**

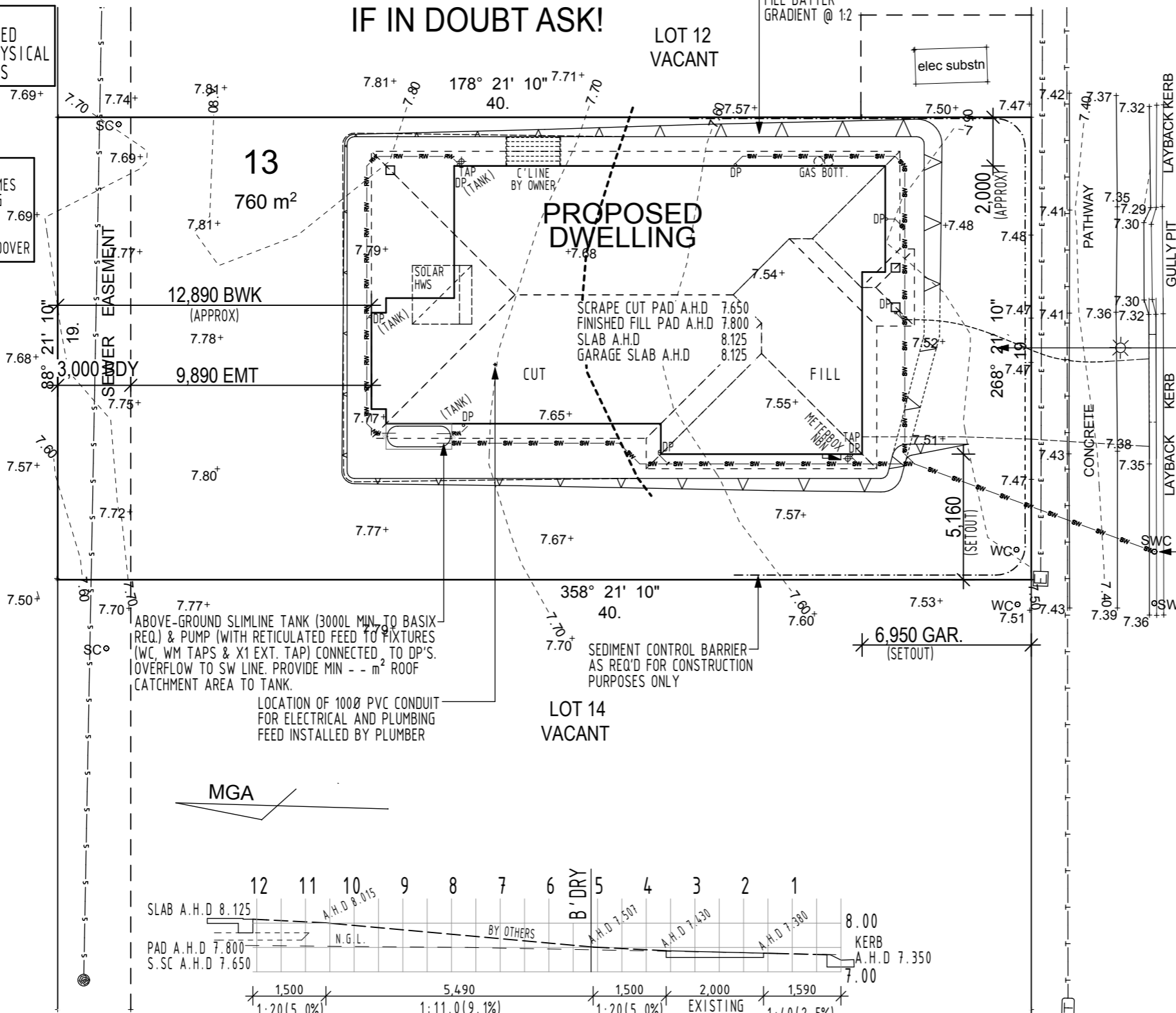
**NOTE:**  
TERMITE PROTECTION TO BE EXPOSED  
SLAB EDGE TO PERIMETER WITH PHYSICAL  
PROTECTION OF SLAB PENETRATIONS

PROVIDE ABLE-FLEX OR SIMILAR  
APPROVED PRODUCT BETWEEN SLAB &  
ADJOINING SURFACE FINISH (TYP)

NATURAL OVERLAND FLOW & DISPERSION  
IN ACCORDANCE WITH DESIGN & PERRY HOMES  
BUILDING PRACTICES - NOT WITHSTANDING  
ADJOINING PROPERTIES UNFORSEEN  
DEVELOPMENT IMPACT, TO BE OWNERS  
RESPONSIBILITY AS REQUIRED AFTER HANDOVER

**NOTE:** PAD LEVEL TO BE CONFIRMED ON SITE.  
SITE CUT/FILL BATTERS AND PAD/SLAB LEVELS  
ARE APPROXIMATE ONLY  
AND MAY VARY TO SOILS AND SITE CONDITIONS.  
REFER ELEVATIONS FOR APPROX. EXTENT OF BATTERS  
PLUS THE OWNERS RESPONSIBILITY TO STABILISE THE  
SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION  
CONTROL AFTER HANDOVER IF REQUIRED

CLIENT SIGN..... DATE.....

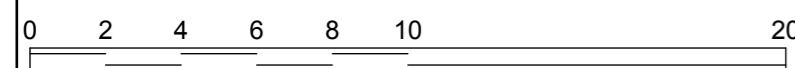
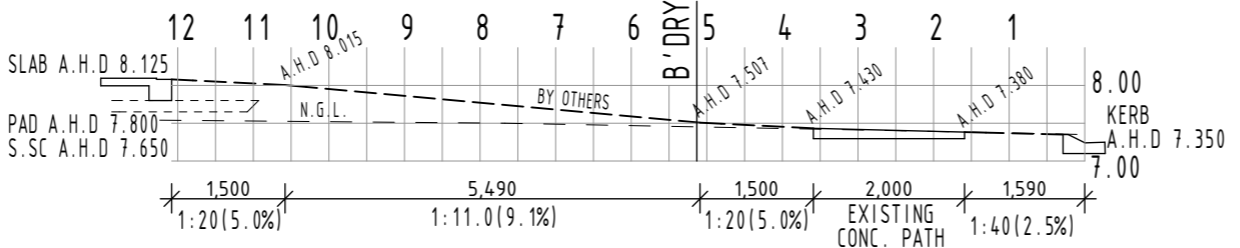


ABOVE-GROUND SLIMLINE TANK (3000L MIN. TO BASIN REQ.) & PUMP (WITH RETICULATED FEED TO FIXTURES (WC, WM TAPS & X1 EXT. TAP) CONNECTED TO DP'S. OVERFLOW TO SW LINE. PROVIDE MIN - - m² ROOF CATCHMENT AREA TO TANK.

LOCATION OF 100Ø PVC CONDUIT FOR ELECTRICAL AND PLUMBING FEED INSTALLED BY PLUMBER

PROPOSED DRIVEWAY BY OWNERS AFTER HANDOVER, SEPARATE APPLICATION, (AVG. GRAD 1:19.3 OR 5.2%) TO COMPLY WITH AS 2890. REF. DET. THIS SHEET

**NOTE:**  
SITE SCRAPE TO SUIT ON-SITE CONDITIONS.  
EXPORT EXCESS EXCAVATED MATERIAL OR  
SCRAPED SURFACE VEGETATION FROM SITE.  
IMPORT GRANULAR FILL TO REQUIRED PAD LEVEL.



**CONTRACT COPY**

**Mark Buckman & Co**  
Consulting Surveyors  
47 Pearl Street  
PO BOX 1393  
Kingscliff, 2487.  
Ph . 02 66 741 891  
Mob 0418 665 832  
email : mbuckman@bigpond.net.au

**TOPOGRAPHICAL SURVEY**  
contour interval 0.1 M

Datum AHD	Scale 1:200	Our Ref. 18110	Date 17/11/2018
-----------	-------------	----------------	-----------------

- ☀ STREET LIGHT
- WC WATER CONNECTION
- SC SEWER CONNECTION
- SWC STORM WATER CONNECTION
- SV STOP VALVE
- WM WATER METER
- ▭ GRATE
- ◻ ELEC PIT
- ◻ TELSTRA
- ⊙ MANHOLE
- ⊙ POWER POLE
- ⊙ TREE/SHRUB

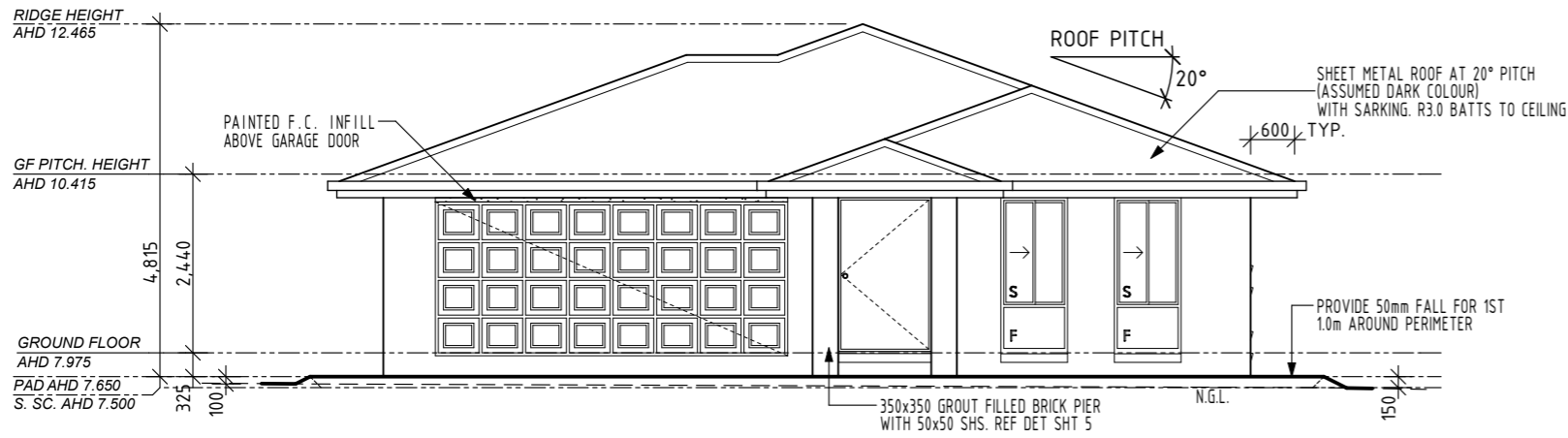
**Lot 13 D.P. 1248978**  
Locality EVANS HEAD  
Council RICHMOND VALLEY

*Mark Kevin Buckman*  
Licensed Surveyor  
Sheet 1 of 8

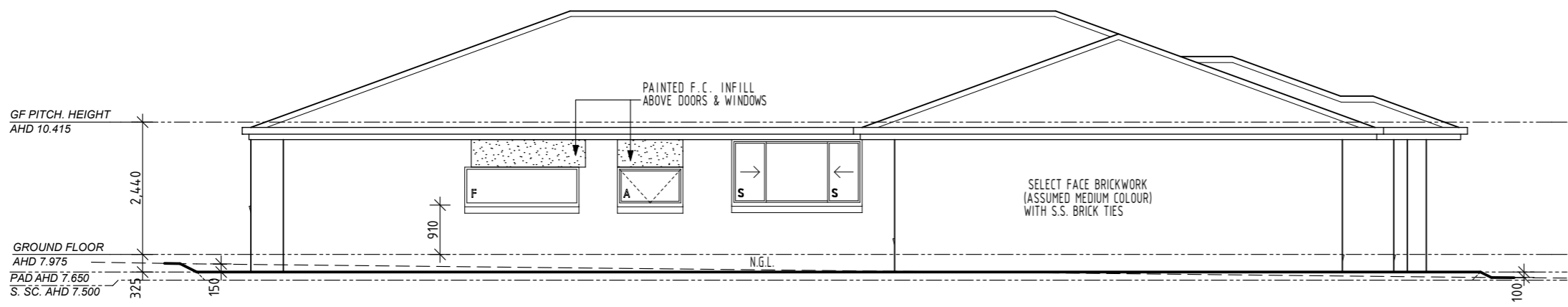
REV	DATE	DESCRIPTION
B	4/2	V.1-GW
A	14/12	SF6

**PERRY HOMES**  
CLIENT : MOHAMMED  
Job No. 9515B

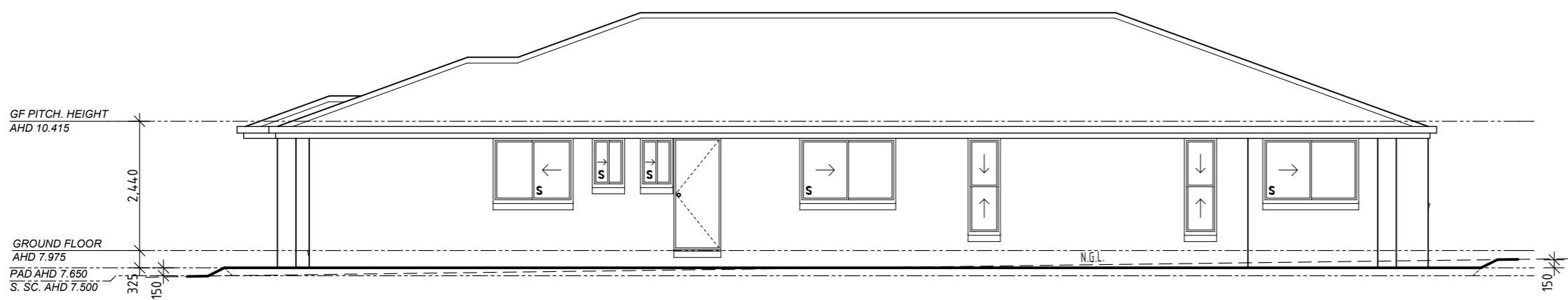




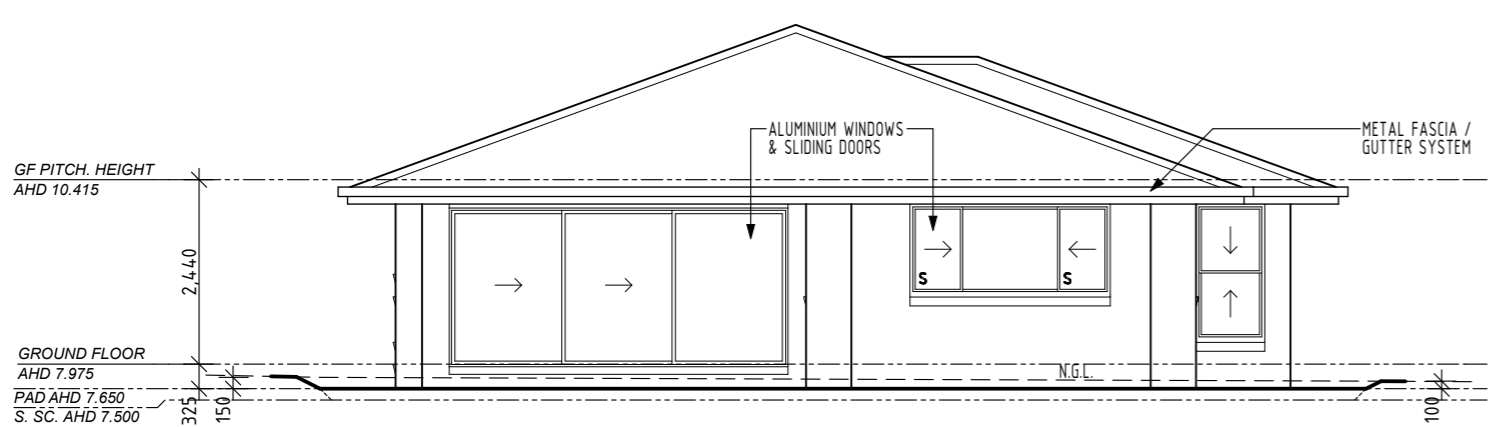
FRONT ELEVATION - SOUTH



LEFT ELEVATION - EAST



RIGHT ELEVATION - WEST



REAR ELEVATION - NORTH

- GENERAL NOTES:
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 AND AS3600.
  - TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE BCA AND WITH AS3660.1
  - TIMBER CONSTRUCTION TO COMPLY WITH AS1684 - 2010
  - STEEL ROOFING TO COMPLY WITH AS1562.1
  - WET AREAS TO COMPLY WITH CLAUSE F1.7 OF THE BCA.
  - WEEPHOLES IN MASONRY WALLS AT 900 CTRS.
  - STEEL ROOF FIXED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS FOR N3 CONDITIONS.
  - PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.
  - VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 3.3.1.8 OF THE BCA.

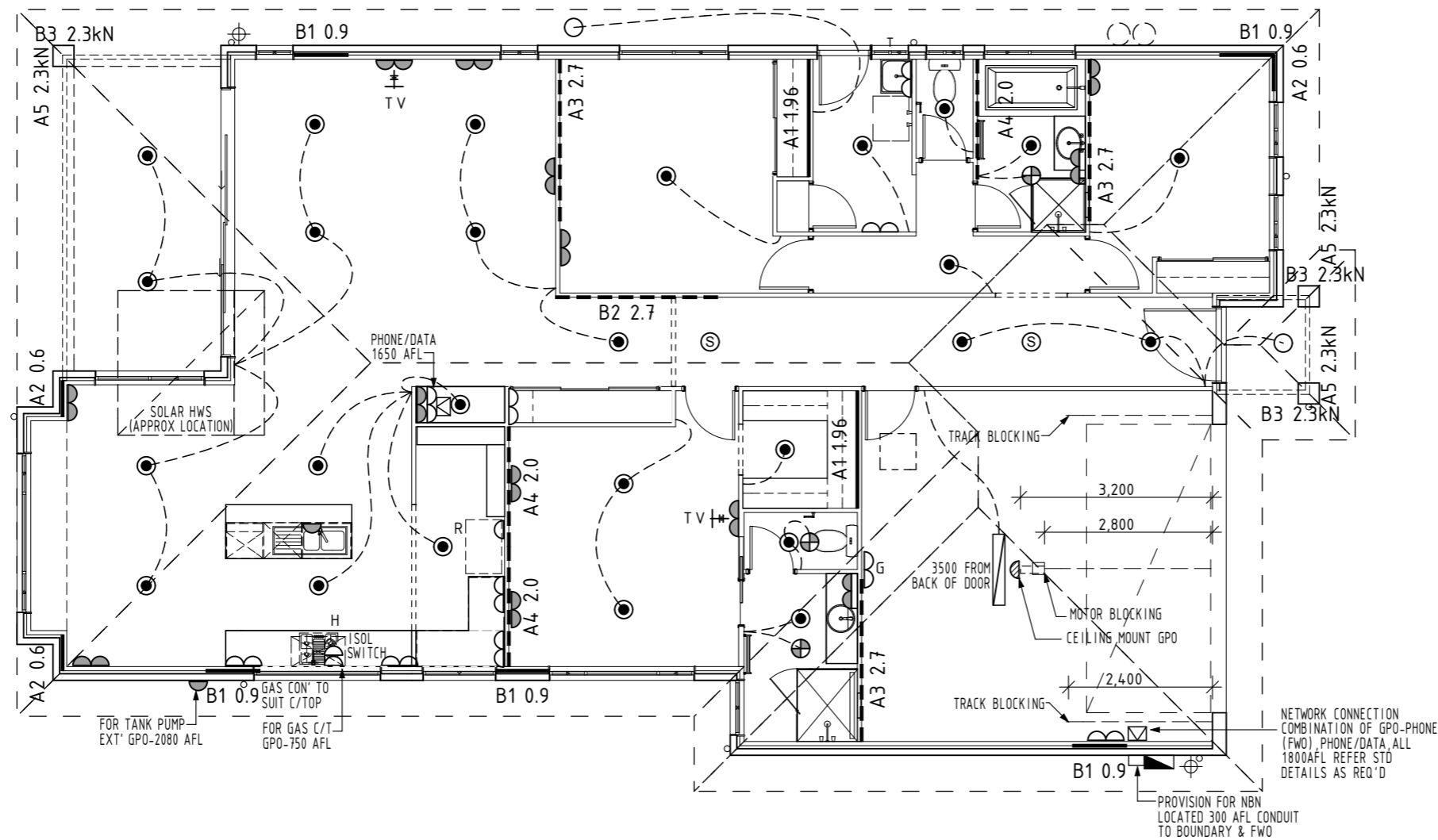
NOTE: DO NOT SCALE OFF DRAWINGS, USE ONLY THE WRITTEN DIMENSIONS.

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 HEAD OFFICE: ph: 07-5569 9400 fax: 07-5523 2884  
 49 MINJUNGBAL DRIVE TWEED HEADS SOUTH. NSW. 2486  
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CLIENT:	A. & J. MOHAMMED		
SITE ADDRESS:	LOT 13, CURRAJONG STREET, EVANS HEAD, N.S.W		
AMENDED:	SF6, V.1, -,-,-	REV	14/12 4/2
DATE:	03/12/18	DATE:	-/- -/-
DESIGN:	SK 18 - 158 - A	DWN:-	P.D
THIS SHT:	Elevations	SHT	3 OF 8
WIND CATY:	N3	SCALE:	1:100
JOB NO.:	9515B		



### WIND BRACING - N3

DIRECTION	PANEL	NO. OFF	OS' BRACE		METAL ANGLE BRACE 1.5KN/M	350 X 350 BRICK PIER M12 ROD w-GROUT or B/WORK PANEL	SUB TOTAL AND TOTAL
			6.0 KN/M TYPE 3	2.2 KN/M (TYPE 4) SHORTWALL			
DIRECTION A	A1	2	11.76				23.52
	A2	3	1.32				3.96
	A3	3			4.05		12.15
	A4	3			3.00		12.00
	A5	3				2.30	6.90
RESISTANCE GAINED							58.53kN
RESISTANCE REQUIRED							56.21kN
DIRECTION B	B1	5	5.40				27.00
	B2	1			4.05		4.05
	B3	3				2.30	6.90
RESISTANCE GAINED							37.95kN
RESISTANCE REQUIRED							29.00kN

NOTE:  
 - 240V ENERGY EFFICIENT INTERNAL LIGHT FITTINGS THROUGHOUT  
 - 250mm EXHAUST FANS TO BATH, ENSUITE & ENS WC  
 - ENS WC EXHAUST FAN CONNECTED TO LIGHT SWITCH

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CLIENT: **A. & J. MOHAMMED**

SITE ADDRESS: **LOT 13, CURRAJONG STREET, EVANS HEAD, N.S.W**

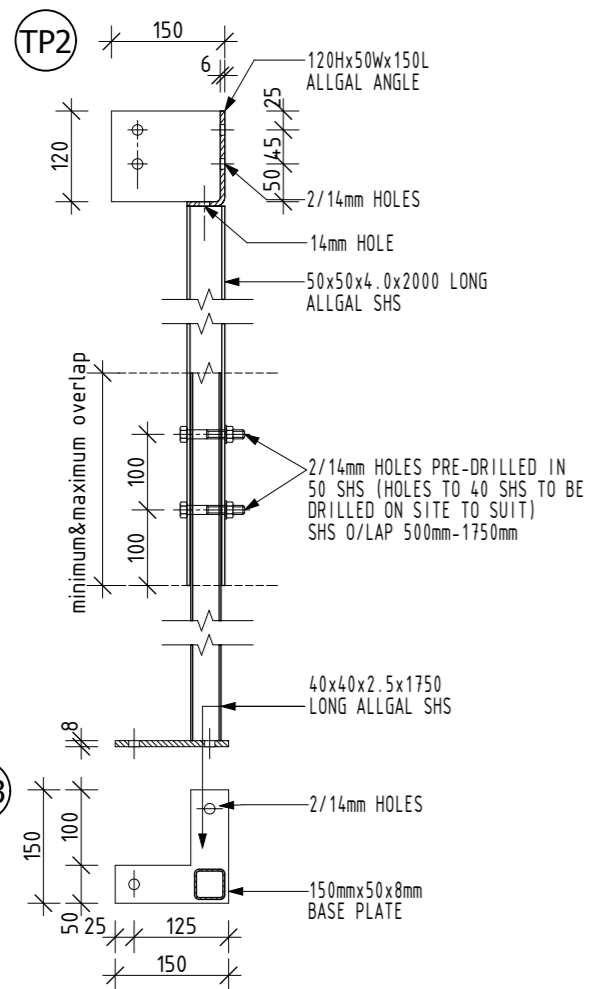
AMENDED: SF6, V.1, ., .,

DATE: <b>03/12/18</b>	REV 14/12 4/2 DATE: -/- -/-	WIND CATY: <b>N3</b>
DESIGN: <b>SK 18 - 158 - A</b>	DWN:- P.D	SCALE: <b>1:100</b>
THIS SHT: <b>Electrical &amp; Bracing</b>	SHT <b>4 OF 8</b>	JOB NO.: <b>9515B</b>

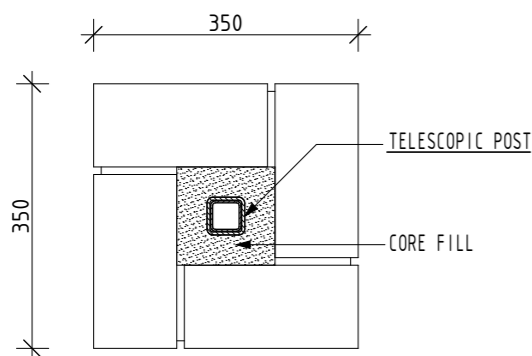
### LEGEND

METERBOX	DOUBLE G.P.O. 1050 A.F.L.	CEILING MOUNTED G.P.O.	WALL MOUNTED LIGHT	12 VOLT GIMBLE	EXH. FAN W/2 HEATLAMPS/LIGHT	CEILING FAN 4 BLADE
SUB-BOARD	VANITY D.G.P.O. 1100 A.F.L.	TELEVISION POINT	240 VOLT DOWNLIGHT	FLUORESCENT LIGHT 1200 SINGLE (NO DIFFUSER)	EXH. FAN W/4 HEATLAMPS/LIGHT	CEILING FAN (1200) OWNER SUPPLIED
LIGHT SWITCH 1350 A.F.L.	GARAGE D.G.P.O. 1350 A.F.L.	TELEPHONE OUTLET 300 A.F.L.	CEILING LIGHT - FLUORESCENT	EXHAUST FAN	CEILING FAN (1200)	CEILING FAN/W/LIGHT (1200) OWNER SUPL'D
SINGLE G.P.O. 300 A.F.L.	REFRIGERATOR G.P.O. 1650 A.F.L.	TELEPHONE OUTLET 1650 A.F.L.	SPOTLIGHT	EXHAUST FAN WITH LIGHT	CEILING FAN W/LIGHT (1200)	
DOUBLE G.P.O. 300 A.F.L.	M/WAVE G.P.O. 1650 A.F.L. U.N.O	SMOKE DETECTOR	DOUBLE SPOTLIGHT	EXHAUST FAN W/2 HEATLAMPS		
SINGLE G.P.O. 1050 A.F.L.	R/HOOD G.P.O. 1650 A.F.L. U.N.O	CEILING LIGHT - BATTEN HOLDER				

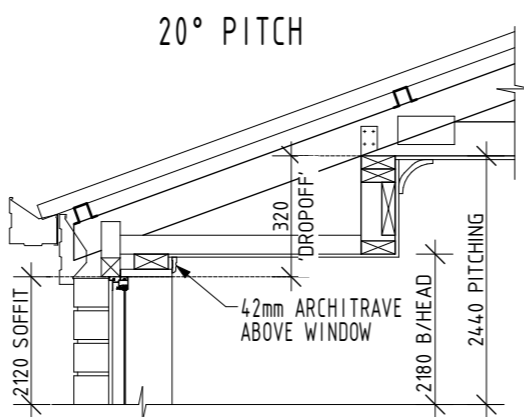
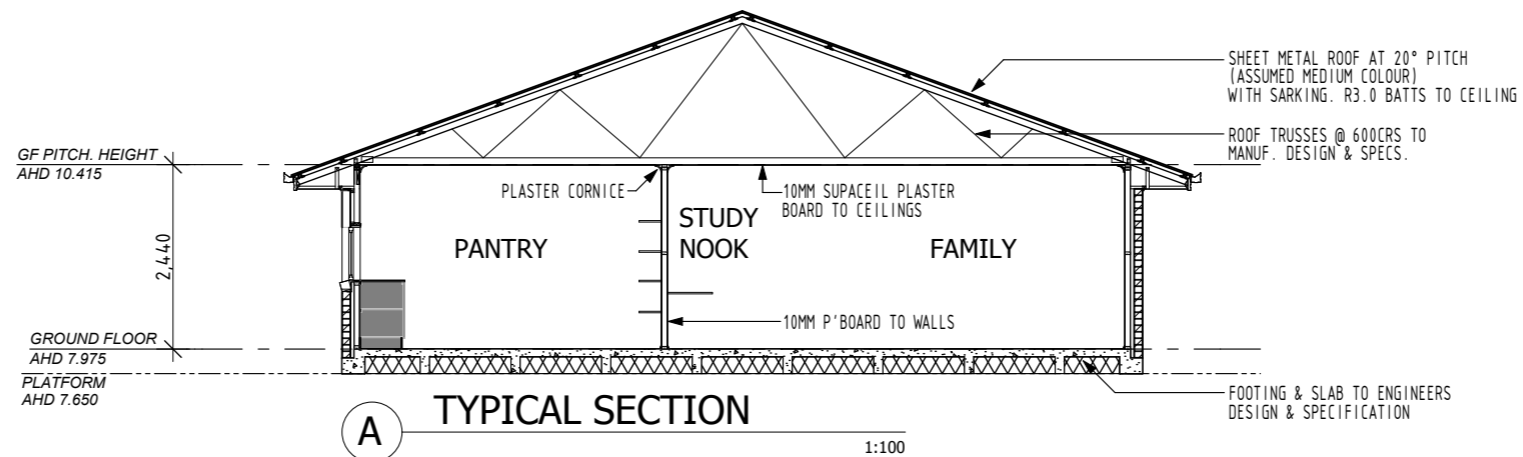
NOTE: SYMBOLS INDICATIVE ONLY. REFER FORMAL TENDER FOR ITEM SPECIFICS



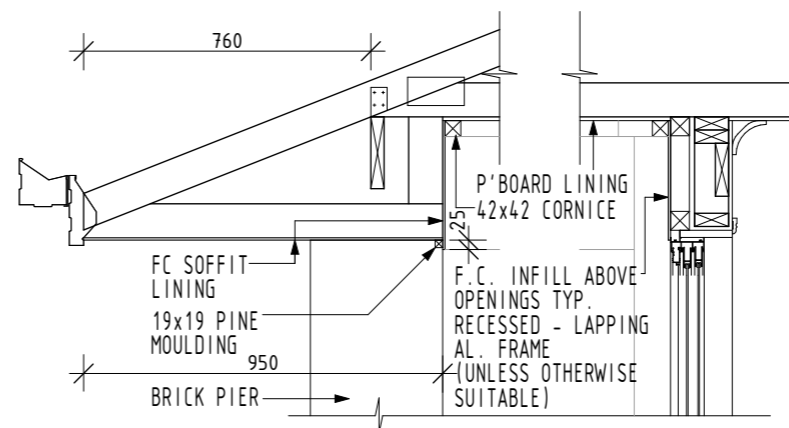
**X SHS DETAIL**  
ADJUSTABLE POST (max height 3250mm) 1:10



**X BRICK PIER DETAIL**  
350 BRICK PIER TYP. 1:10



**B BULKHEAD DETAIL**  
SHEET ROOF-20° 1:20



**C SUMMER LOUNGE CEILING DETAIL**  
BRICK PIER SUPPORT 1:20

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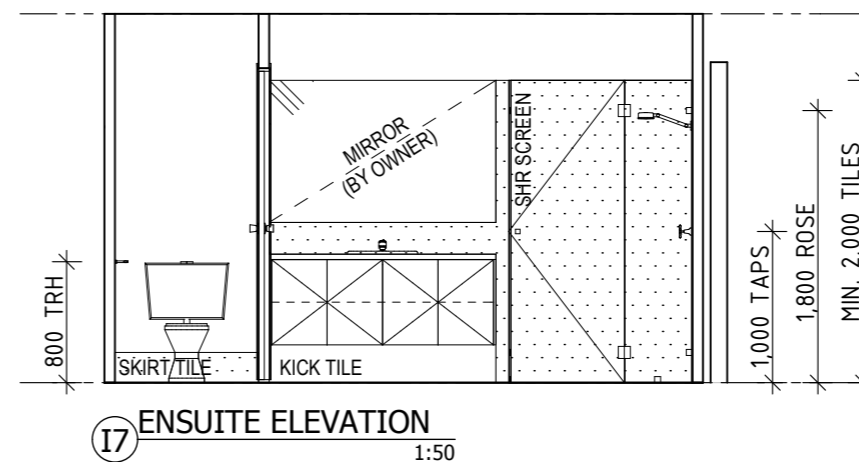
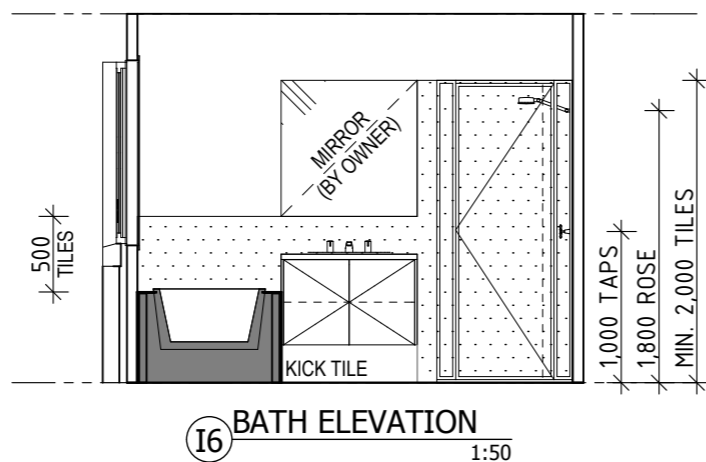
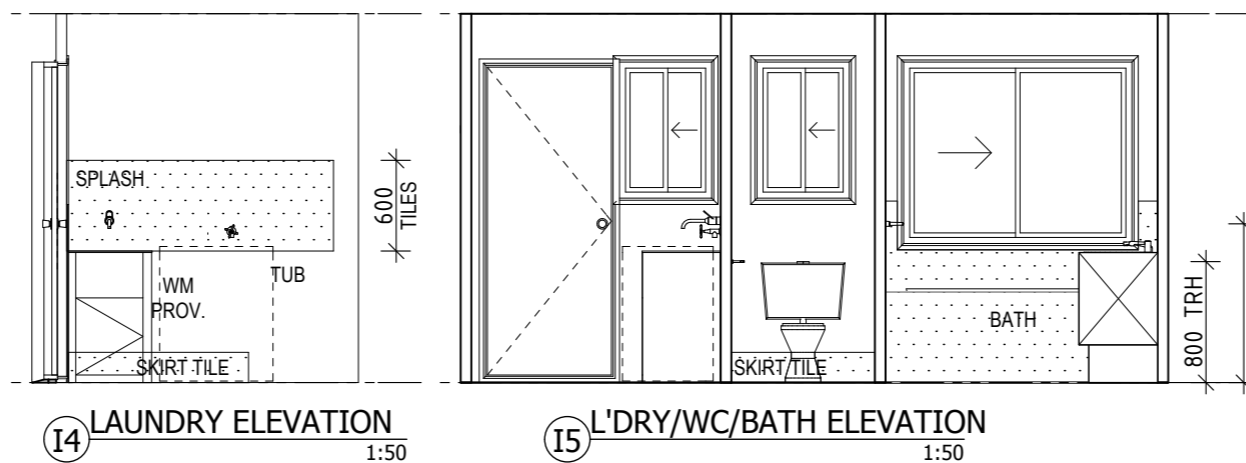
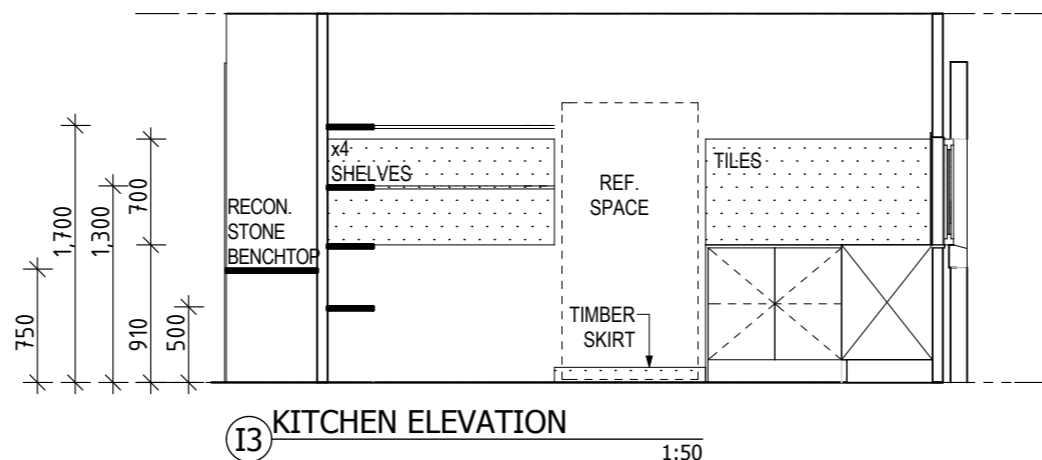
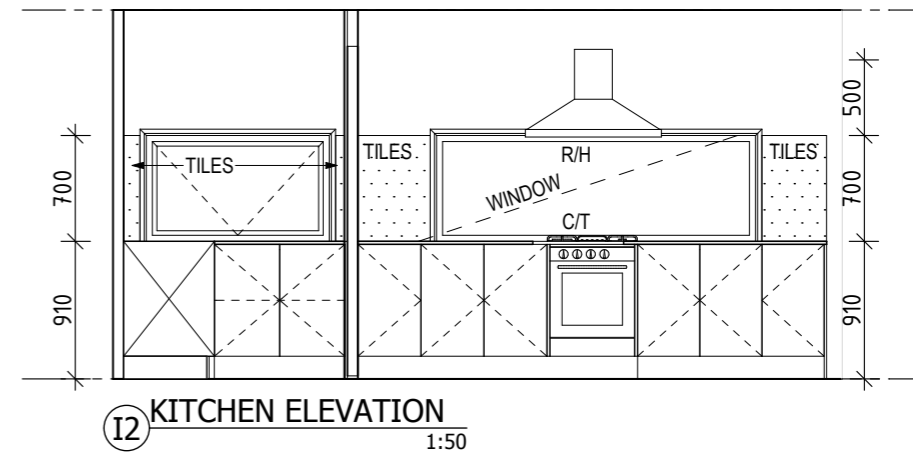
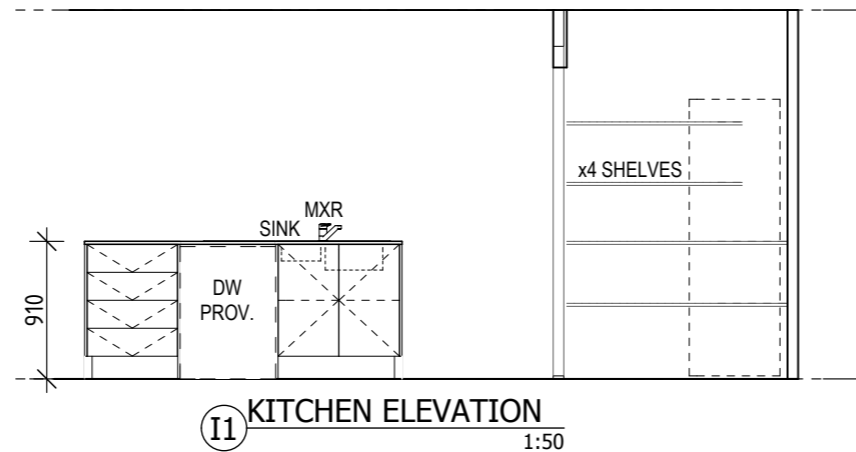
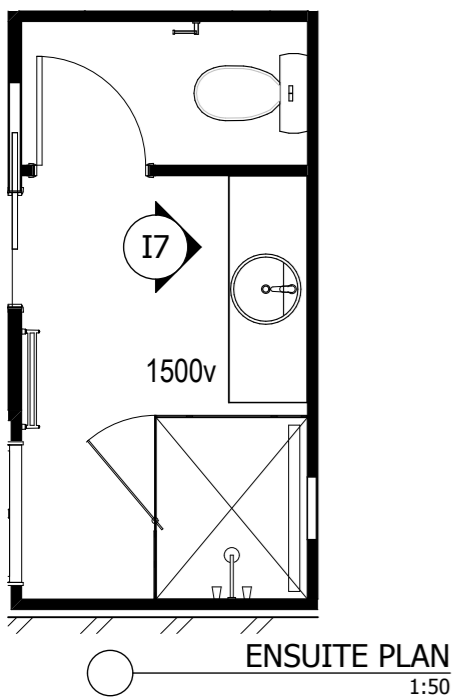
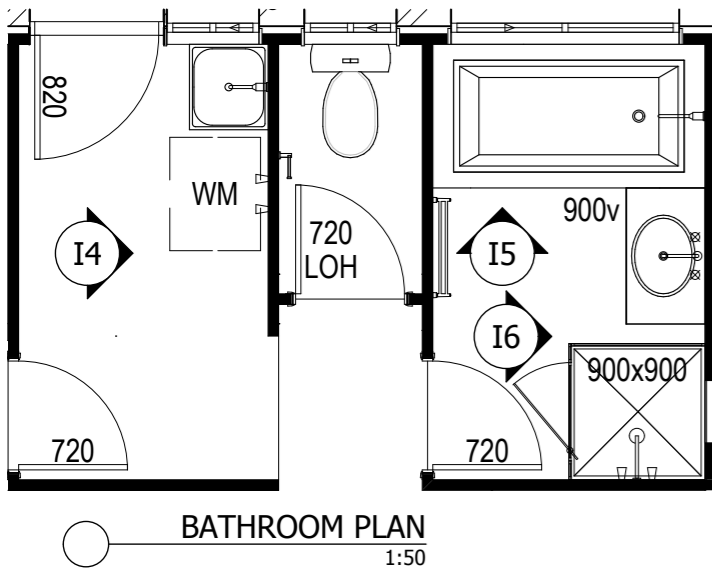
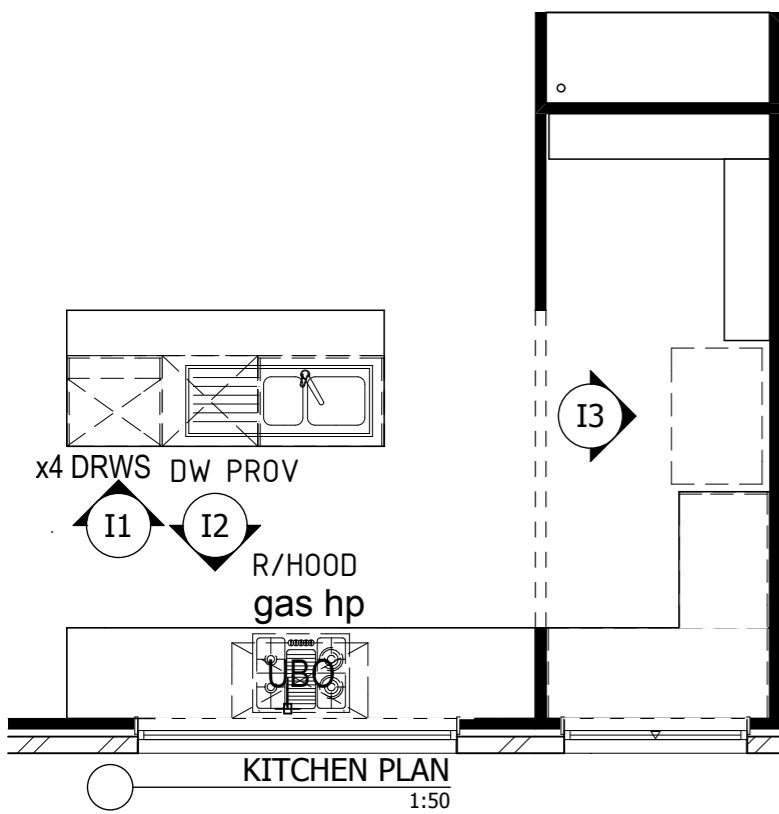
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CLIENT: **A. & J. MOHAMMED**

SITE ADDRESS: **LOT 13, CURRAJONG STREET,  
EVANS HEAD, N.S.W**

AMENDED: SF6, V.1, -

DATE: <b>03/12/18</b>	REV 14/12 4/2 DATE: -/- -/-	WIND CAT'Y: <b>N3</b>
DESIGN: <b>SK 18 - 158 - A</b>	DWN:- P.D	SCALE: <b>1:100</b>
THIS SHT: <b>Sections &amp; Details</b>	SHT <b>5 OF 8</b>	JOB NO.: <b>9515B</b>



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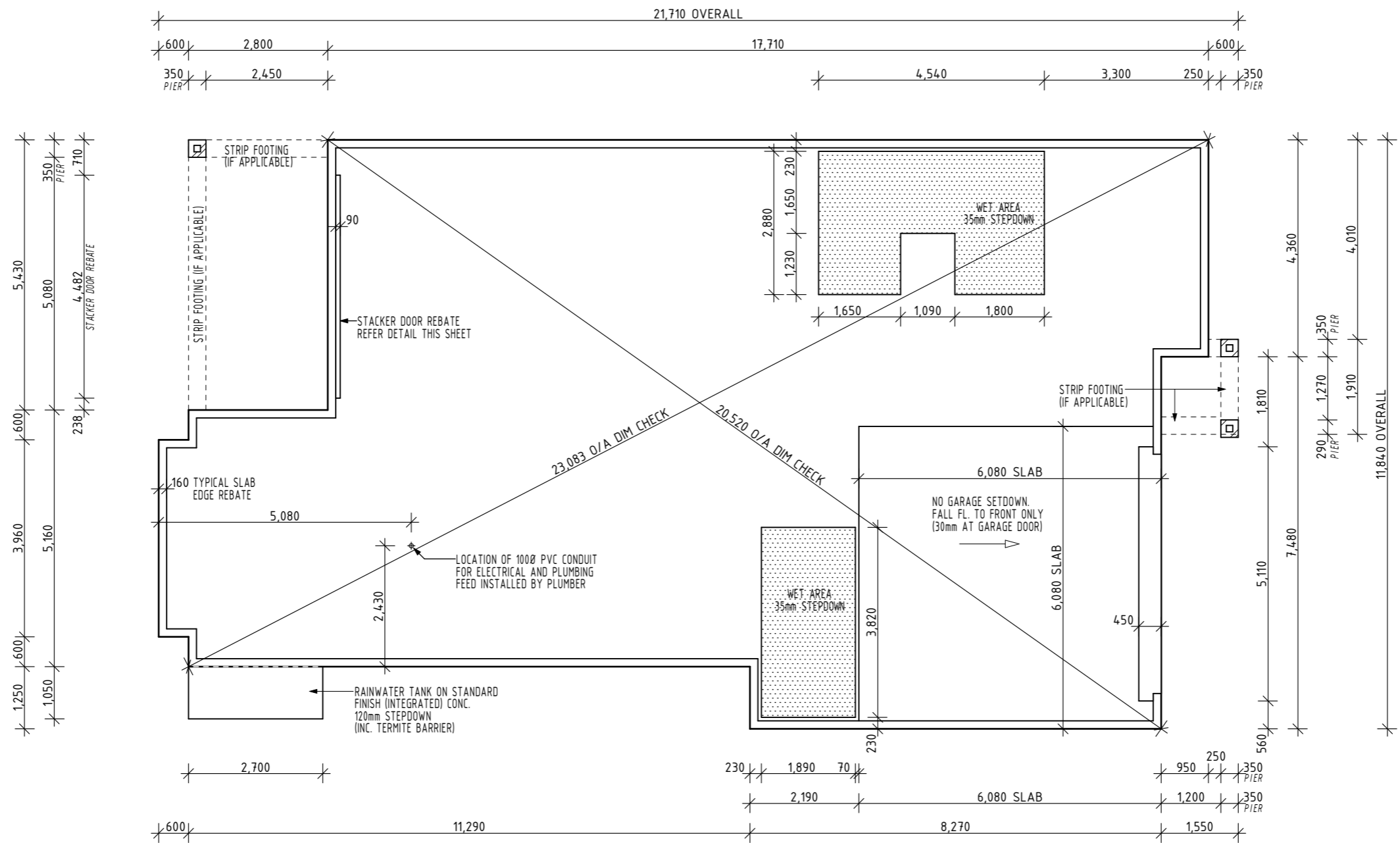
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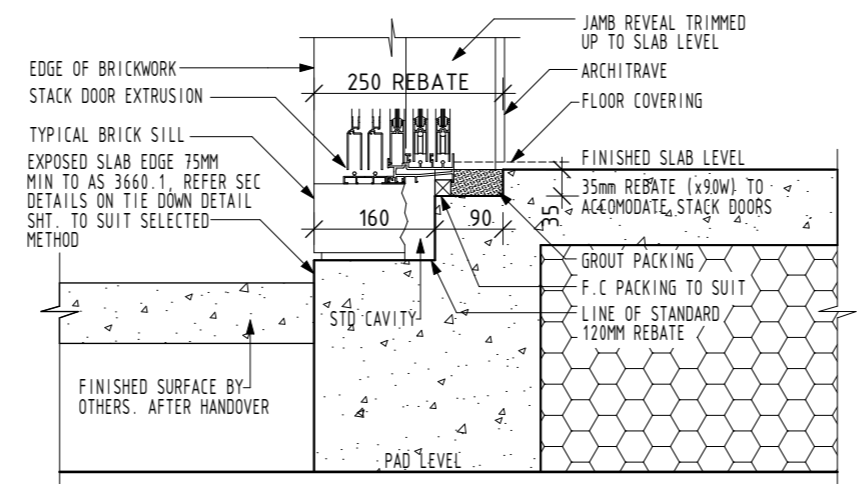
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AMENDED: SF6, V.1, -	REV 14/12 4/2	WIND CAT'Y: <b>N3</b>
DATE: <b>03/12/18</b>	DATE: -/-	
DESIGN: <b>SK 18 - 158 - A</b>	DWN:- P.D	SCALE: <b>1:100</b>
THIS SHT: <b>Wet Area Elevations</b>	SHT <b>6 OF 8</b>	JOB NO.: <b>9515B</b>





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**D** STACK DOOR REBATE  
STANDARD EDGE FINISH 1:10

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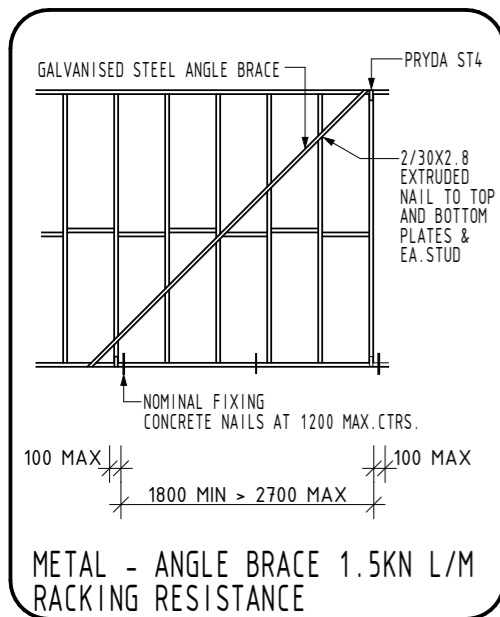


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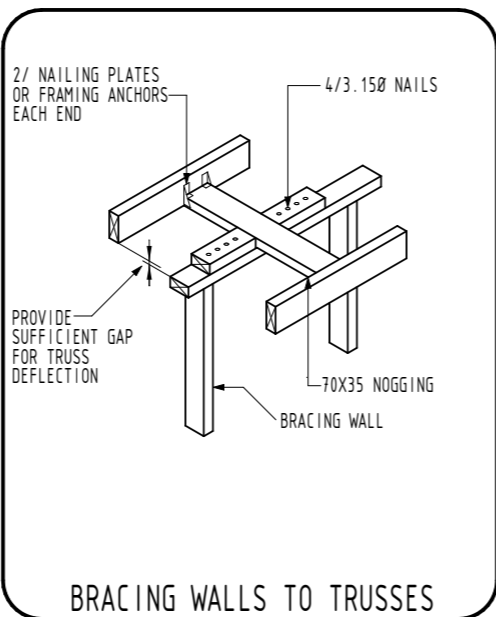
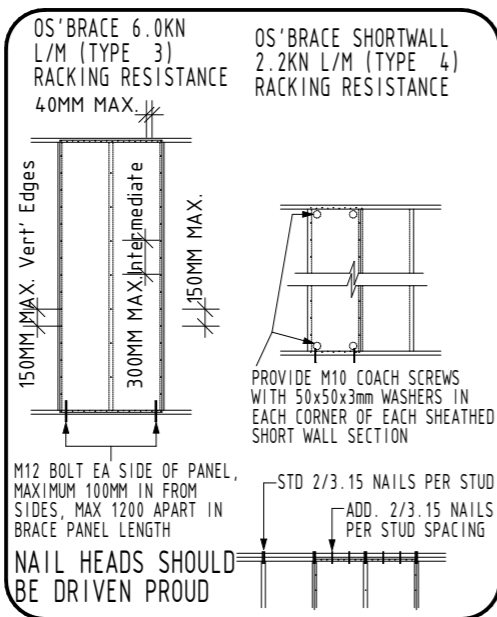
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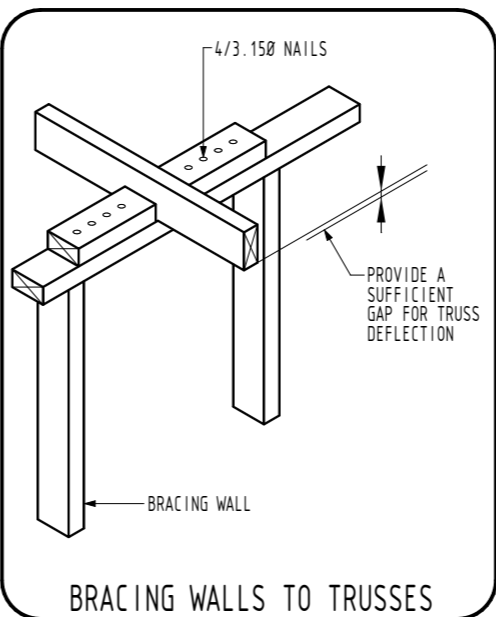
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SITE ADDRESS: <b>LOT 13, CURRAJONG STREET, EVANS HEAD, N.S.W</b>	
AMENDED: SF6, V.1, -,-	
DATE: <b>03/12/18</b>	REV 14/12 4/2 DATE: -/- -/-
DESIGN: <b>SK 18 - 158 - A</b>	WIND CATY: <b>N3</b>
DWN:- P.D	SCALE: <b>1:100</b>
THIS SHT: <b>Slab Plan</b>	SHT <b>7 OF 8</b>
	JOB NO.: <b>9515B</b>



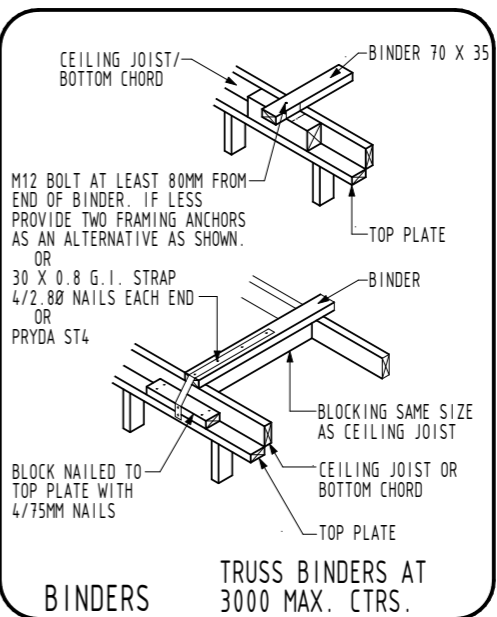
METAL - ANGLE BRACE 1.5KN L/M RACKING RESISTANCE



BRACING WALLS TO TRUSSES

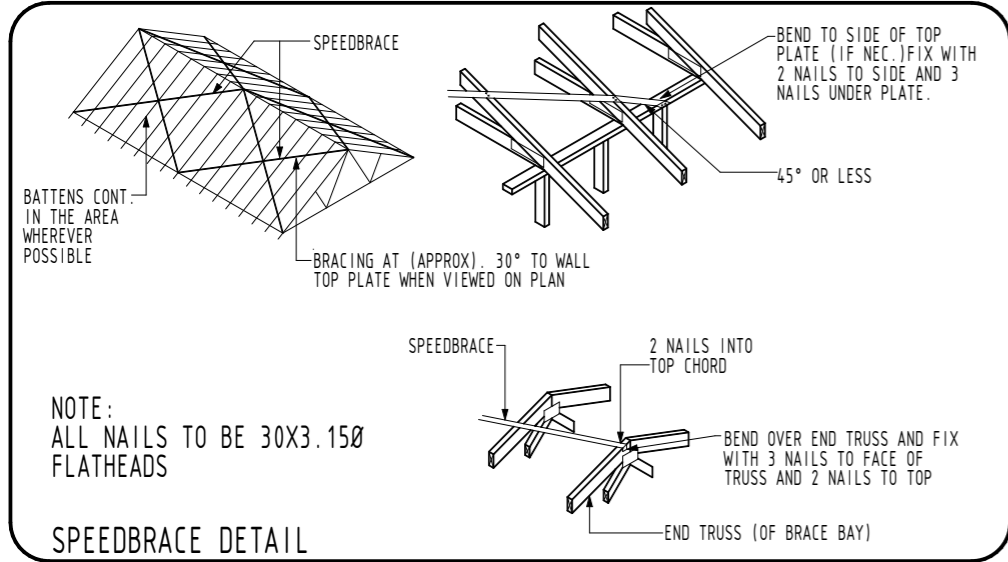


BRACING WALLS TO TRUSSES

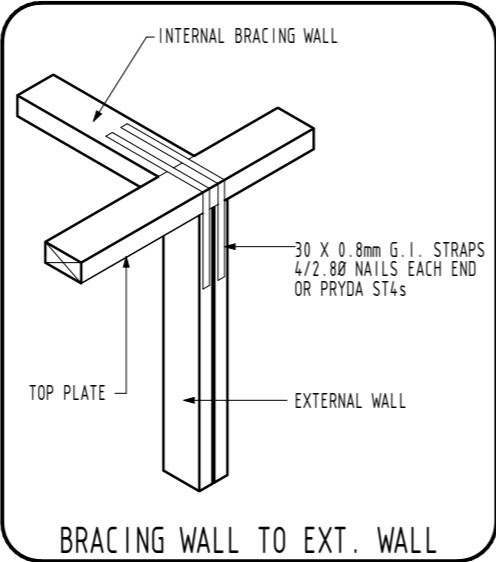


BINDERS

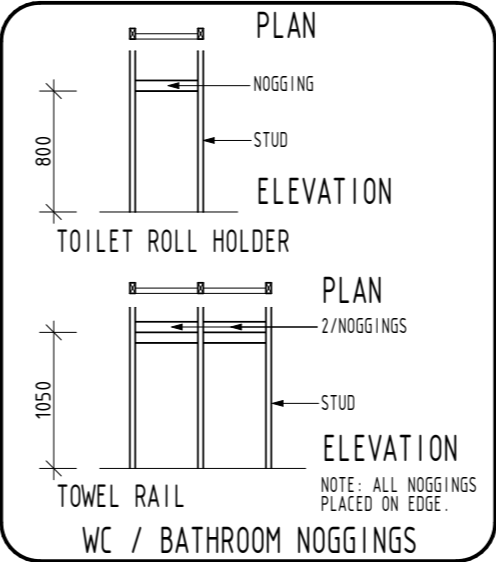
- ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH:-
- THE BUILDING CODE OF AUSTRALIA AS 1684-2010
- TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE BCA AND WITH AS3660.1
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 / AS3600.
- TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF PART 3.4.3 OF THE BCA AND AS1720.1 / AS1684-2010
- CONCRETE ROOFING TO COMPLY WITH AS2049, AS2050 AND BE FIXED TO MANUFACTURER'S SPEC'S FOR RELEVANT CONDITIONS
- STEEL ROOFING TO COMPLY WITH AS1562.1.
- WEEPHOLES IN MASONRY WALLS AT 900 CTRS.
- VERTICAL ARTICULATION IN MASONRY WALLS TO COMPLY WITH THE PROVISIONS OF PART 3.3.1.8 OF THE BCA.
- WET AREAS TO COMPLY WITH THE PROVISIONS OF PART 3.8.1 OF THE BCA.
- SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART 3.7.2 OF THE BCA.
- WALL BRACING TO COMPLY WITH THE PROVISIONS OF PART 3.4.3.8 OF THE BCA. + AS 1684 - 2006
- ENSURE SHEAR BLOCKS ARE OF A SUFFICIENT LENGTH TO AVOID POSSIBLE SPLITTING.
- GLASS INSTALLATION TO COMPLY WITH AS1288 AND AS2047.



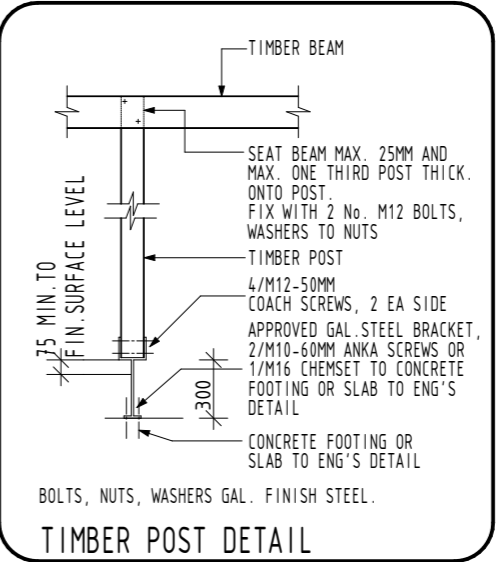
SPEEDBRACE DETAIL



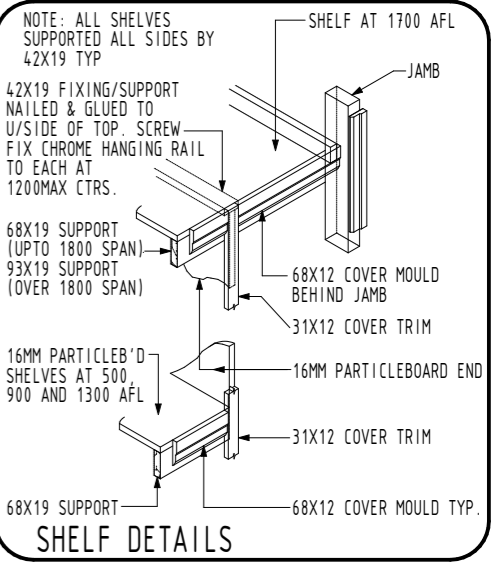
BRACING WALL TO EXT. WALL



WC / BATHROOM NOGGINGS



TIMBER POST DETAIL



SHELF DETAILS

TIE DOWN CALCULATION - N3 NON- CYCLONIC (ULW-6000) AS 1684-2010		GENERAL NOTES								
MEMBER CONNECTION - JD4 TYP. u.n.o	UPLIFT REQ.	UPLIFT RESIST	ROOF FRAMING							
METAL ROOF TO BATTENS: TO MANUFACTURER'S SPECIFICATIONS			METAL ROOF SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT ROOF BATTENS SHALL BE SUPPLIED METAL BATTENS FIXED AS PER MANUFACTURERS SPECIFICATION ENTIRE ROOF SHALL BE TRUSS CONSTRUCTION AT 600 CTRS. MAX. DESIGNED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT N3 CONDITIONS UNLESS NOTED OTHERWISE ON PLANS CEILING BINDERS SHALL BE 70x35 AT 3000 CTRS. MAXIMUM							
ROOF BATTENS TO TRUSSES: TO MANUFACTURER'S SPECIFICATIONS			CONCRETE							
ROOF TRUSSES TO TOP PLATE: @ 600 CRS 2 No. FRAMING ANCHOR WITH 3/2.8Ø NAILS MIN. TO EACH LEG AT INTERFACE OR: 2 x MULTI GRIP OR: 1 x CYCLONE STRAP FIXED TO PL. WITH 4/2.8Ø NAILS	NOM. AS PER Table 9.13	NOM. AS PER Table 9.21b	REFER TO ENGINEER'S DETAILS. PROVIDE CONTINUOUS 200um POLYTHENE VAPOUR BARRIER LAPPED 200 MIN. AND SEALED AT ALL JOINTS AND PENETRATIONS. PROVIDE TERMITE CONTROL IN ACCORDANCE WITH A.S. 3660.1							
WALL FRAMING - GROUND FLOOR: TOP AND BOTTOM PLATES TO STUDS: @ 450 CRS.	NOM. FIXING AS PER AS 1684 TABLE 15	NOM. FIXING AS PER AS 1684 TABLE 15	BRICKWORK							
PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38-50mm THICK - 2/90mm NAILS NAILS THRU PLATE IN BOTH CASES. NOGGINGS TO STUDS: 2/75mm NAILS SKEW NAILED OR THRU NAILED. BOTTOM PLATES TO CONCRETE SLAB: NAILS AT MAX. 1200 CTRS.	AS 1684. Table 9.11 7.2	BOLT 12x100-10.8	APPROVED BRICK TIES AT 600 x 600 CTS. MAX. STAGGERED. BRICKWORK SHALL HAVE APPROVED DAMP COURSE NOT LESS THAN 2 COURSES ABOVE GROUND LEVEL. PROVIDE APPROVED CAVITY FLASHING WITH WEEPHOLES AT 900mm CTRS. MAXIMUM.							
OR CHEMICAL, EXPANSION OR FIRED PROP. FASTENERS.			LININGS							
BOTTOM PLATE TO JOISTS: PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38 - 50mm THICK - 2/90mm NAILS RIBBON PLATE TO TOP PLATE - REFER TO AS 1684			CEILING SHALL BE LINED WITH 10mm THICK SUPACEIL LINING, FOR FRAME SPACING OF 600mm AND 10mm THICK PLASTERBOARD FOR FRAME SPACINGS OF 450mm (eg UNDERSIDE OF FIRST FLOOR JOISTS). WALLS SHALL BE LINED WITH 10mm THICK PLASTERBOARD OR 6mm THICK VILLABOARD TO WET AREAS. FIXED @ 300 CTRS OR 200 CTRS WHEN TILED, REFER TO BRACING PLANS FOR POSSIBLE VARIATIONS TO WALL LININGS OR FIXING METHODS. ALL ABOVE LININGS SHALL APPLY UNLESS NOTED OTHERWISE ON FLOOR PLANS.							
COMMON STUD SPACING (mm)	NUMBER OF COMMON STUDS AT SIDES OF OPENINGS WIDTH (mm) - SECONDARY STUD FOR BEARING INCLUDED IN TOTAL									
	900	1200	1500	1800	2100	2400	2700	3000	3300	3600
450	1	2	2	2	3	3	3	3	4	4
600	1	1	2	2	2	3	3	3	4	4

SOFFIT LININGS

SOFFIT BEARERS @ EACH TRUSS TAIL WITH 4.5mm F.C SHEETS NAILED AT 225 CTRS WITHIN 1200 OF EXTERNAL BUILDING CORNERS AND AT 300 CTRS ELSEWHERE

NOTE:- USE 2.0 X 30mm GALV FIBRE CEMENT NAILS

WALL FRAMING

MGP10/MGP12 PINE FRAME TO LOAD BEARING WALLS 70 x 35 FRAME - STUDS AT 450 CTRS - ONE ROW OF NOGGINGS

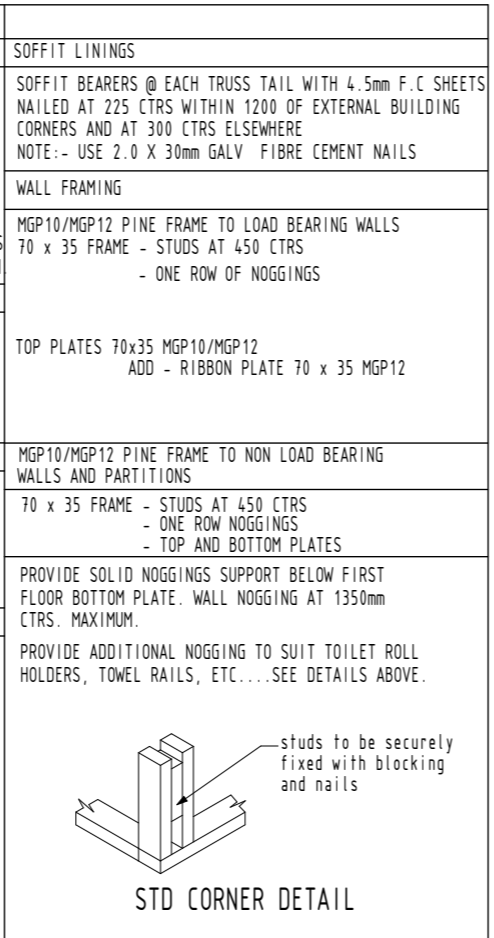
TOP PLATES 70x35 MGP10/MGP12 ADD - RIBBON PLATE 70 x 35 MGP12

MGP10/MGP12 PINE FRAME TO NON LOAD BEARING WALLS AND PARTITIONS

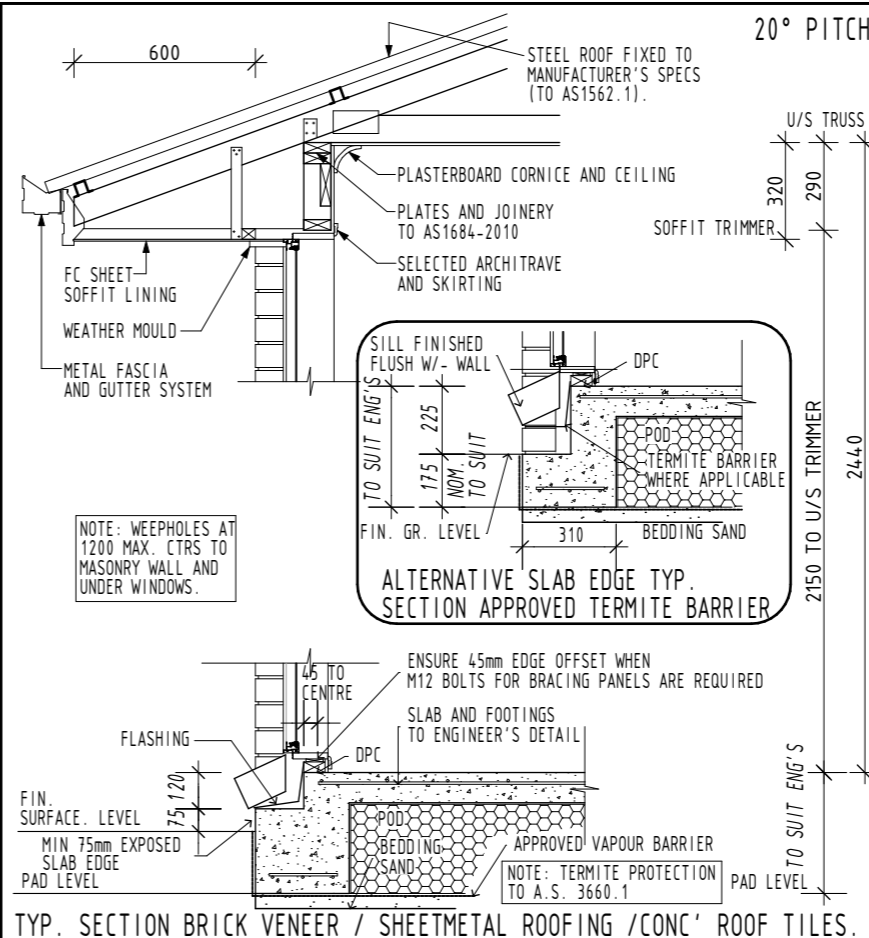
70 x 35 FRAME - STUDS AT 450 CTRS - ONE ROW NOGGINGS - TOP AND BOTTOM PLATES

PROVIDE SOLID NOGGINGS SUPPORT BELOW FIRST FLOOR BOTTOM PLATE. WALL NOGGING AT 1350mm CTRS. MAXIMUM.

PROVIDE ADDITIONAL NOGGING TO SUIT TOILET ROLL HOLDERS, TOWEL RAILS, ETC...SEE DETAILS ABOVE.



STD CORNER DETAIL



TYP. SECTION BRICK VENEER / SHEETMETAL ROOFING / CONC' ROOF TILES.

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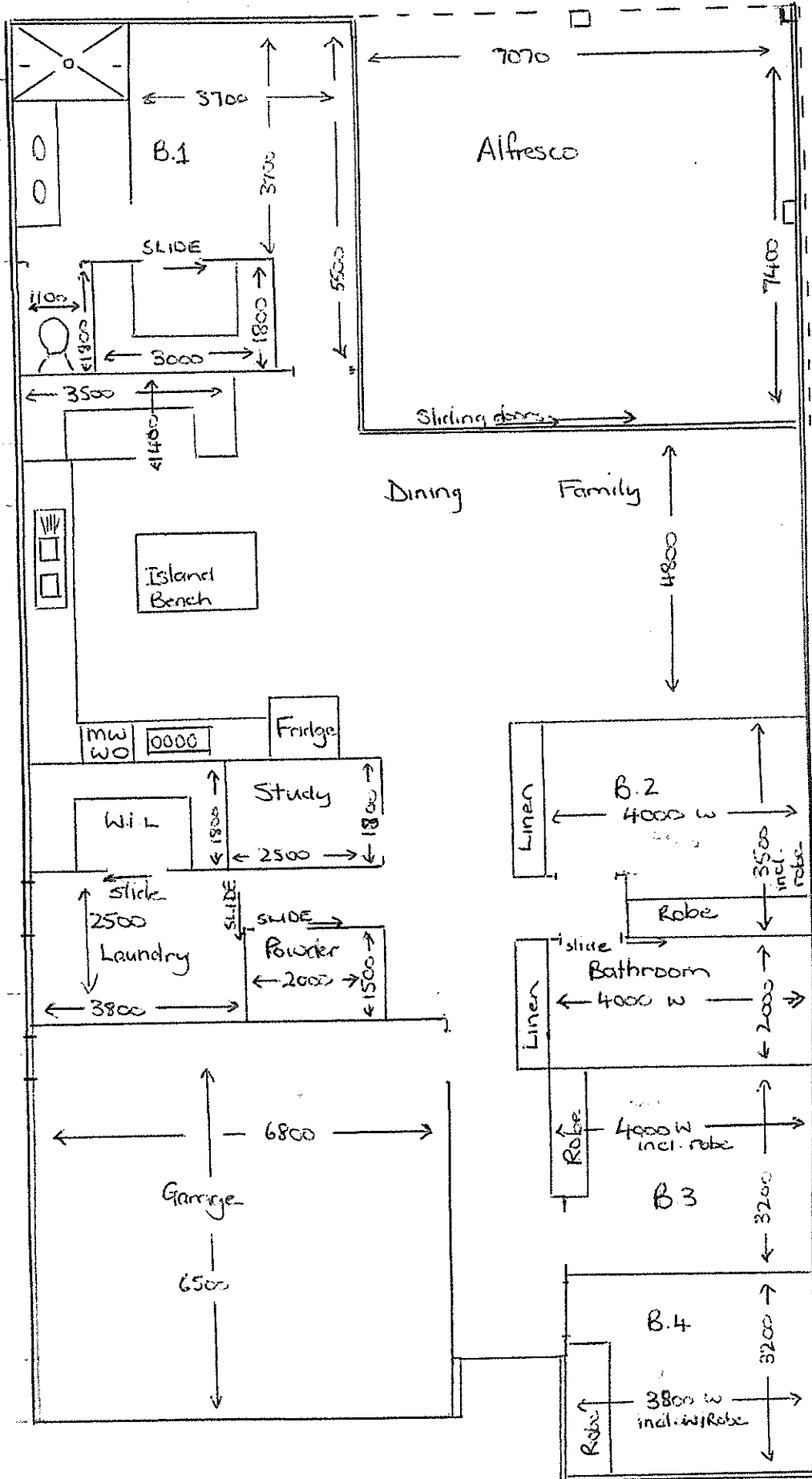
CLIENT: **A. & J. MOHAMMED**

SITE ADDRESS: **LOT 13, CURRAJONG STREET, EVANS HEAD, N.S.W**

AMENDED: SF6, V.1, -,-

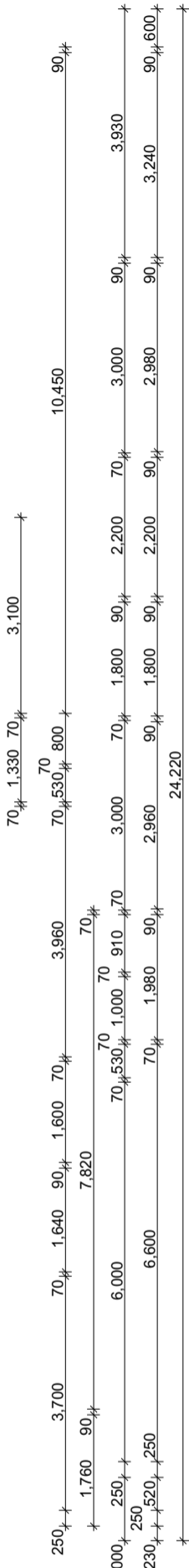
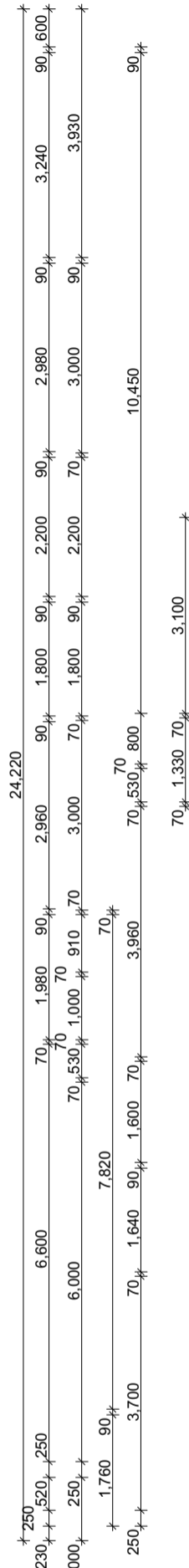
DATE: <b>03/12/18</b>	REV 14/12 4/2 DATE: -/-	WIND CATY: <b>N3</b>
DESIGN: <b>SK 18 - 158 - A</b>	DWN:- <b>P.D</b>	SCALE: <b>1:100</b>
THIS SHT: <b>TIEDOWN/CONST DETAILS</b>	SHT <b>8 OF 8</b>	JOB NO.: <b>9515B</b>

← 1700 →

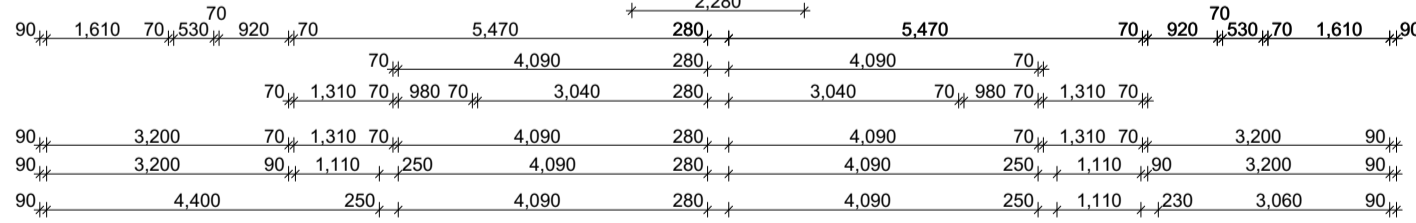


FLOORPLAN FOR EVAN + LYN DUCK  
68 CURRAJONG ST, LOT 14





AREAS: U1	
1. Living	164.68m2
2. Garage	22.62m2
3. Porch	1.95m2
4. Alfresco	17.16m2
<b>Total:</b>	<b>206.41m2</b>



AREAS: U2	
1. Living	164.68m2
2. Garage	22.62m2
3. Porch	1.95m2
4. Alfresco	17.16m2
<b>Total:</b>	<b>206.41m2</b>

**Ext Perimeter: 45.263 l/m**  
**Kitchen: 6.093 l/m**  
**Wet Areas: 23.7m2**

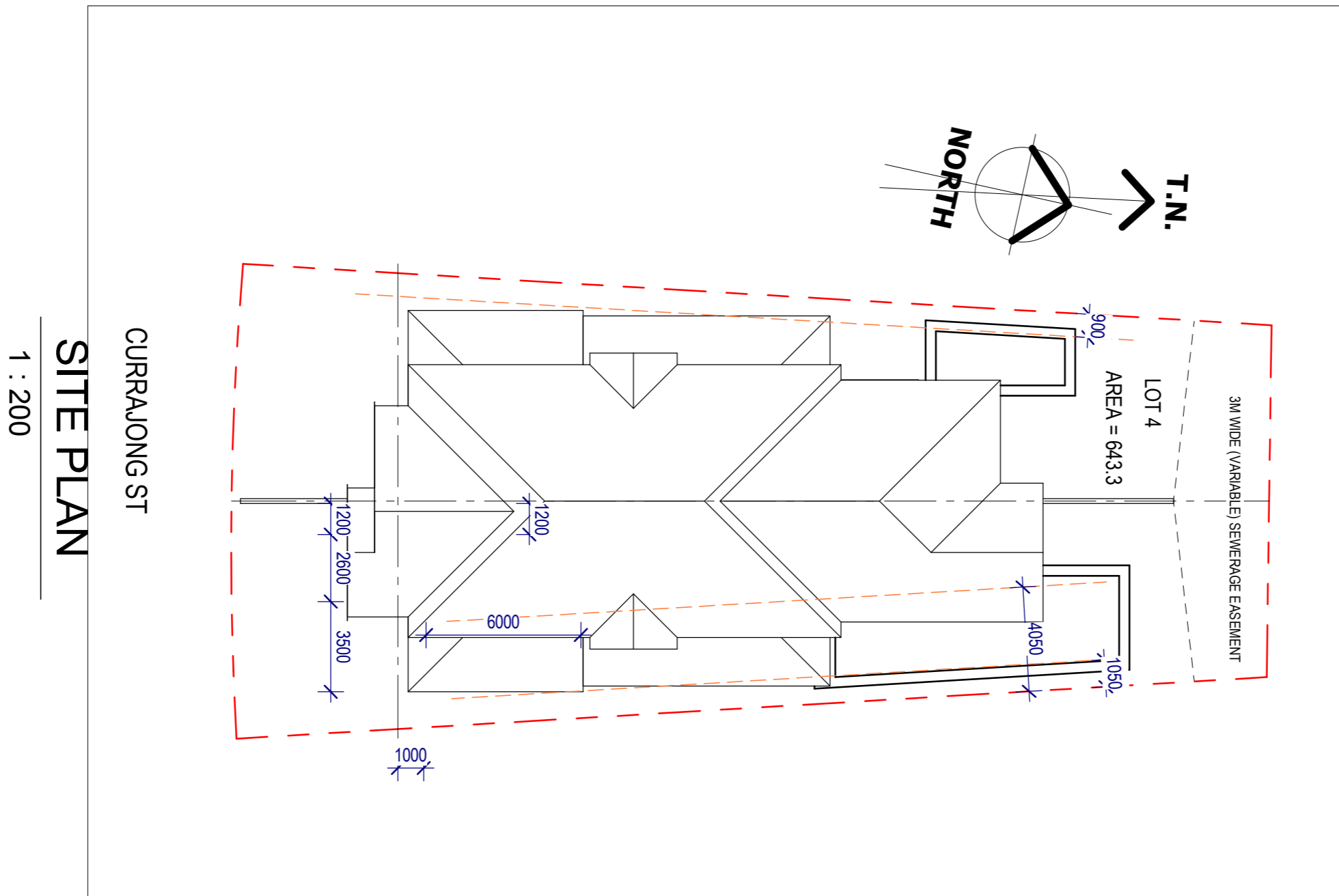
**Ext Perimeter:**  
**Kitchen: 6.093 l/m**  
**Wet Areas: 23.7m2**

Job Address: Lot 18 Currajong Street, Evans Head NSW			Owners signatures confirm these plans are approved as a representation of what is to be built. Items not included in these plans & attached specification are deemed not to be included in the contract:  I / We approve these plans. SIGNATURE _____ DATE _____  SIGNATURE _____ DATE _____
Owners: Martin and Nola Siemons			
Drawn: LH.	Job Number: 10020	Scale: 1:1, 1:100	
Date: 12/07/2018	Type: Custom Design	Page: 1	
Issue: A			



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<p>PRINT DATE: 21/02/2019 5:51:37 PM</p>		<p>SCALE @ A3:</p>	<p>DESIGN: TB</p>	<p>DRW BY: TB</p>		



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**884-C**

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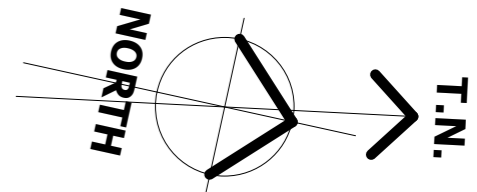
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 20-02-19

SHEET TITLE:  
 SITE PLAN

SHEET NO:  
**2**

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**GROUND FLOOR PLAN**

1 : 100



Unit 1	
Name	Area
ff living	105.90
garage	21.47
gf living	104.86
porch	1.40
<b>Grand total:</b>	<b>233.63</b>
<b>4</b>	

Unit 2	
gf living	110.57
ff living	97.78
garage	21.49
terrace	7.18
rear balcony	7.18
porch	6.42
front balcony	5.70
void	3.86
	<b>260.19</b>

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**884-C**

ADDRESS:  
**LOT 2 DP 1248978**  
**CURRAJONG ST**  
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ISSUE DATE:  
 20-02-19

SHEET TITLE:  
**GROUND FLOOR PLAN**

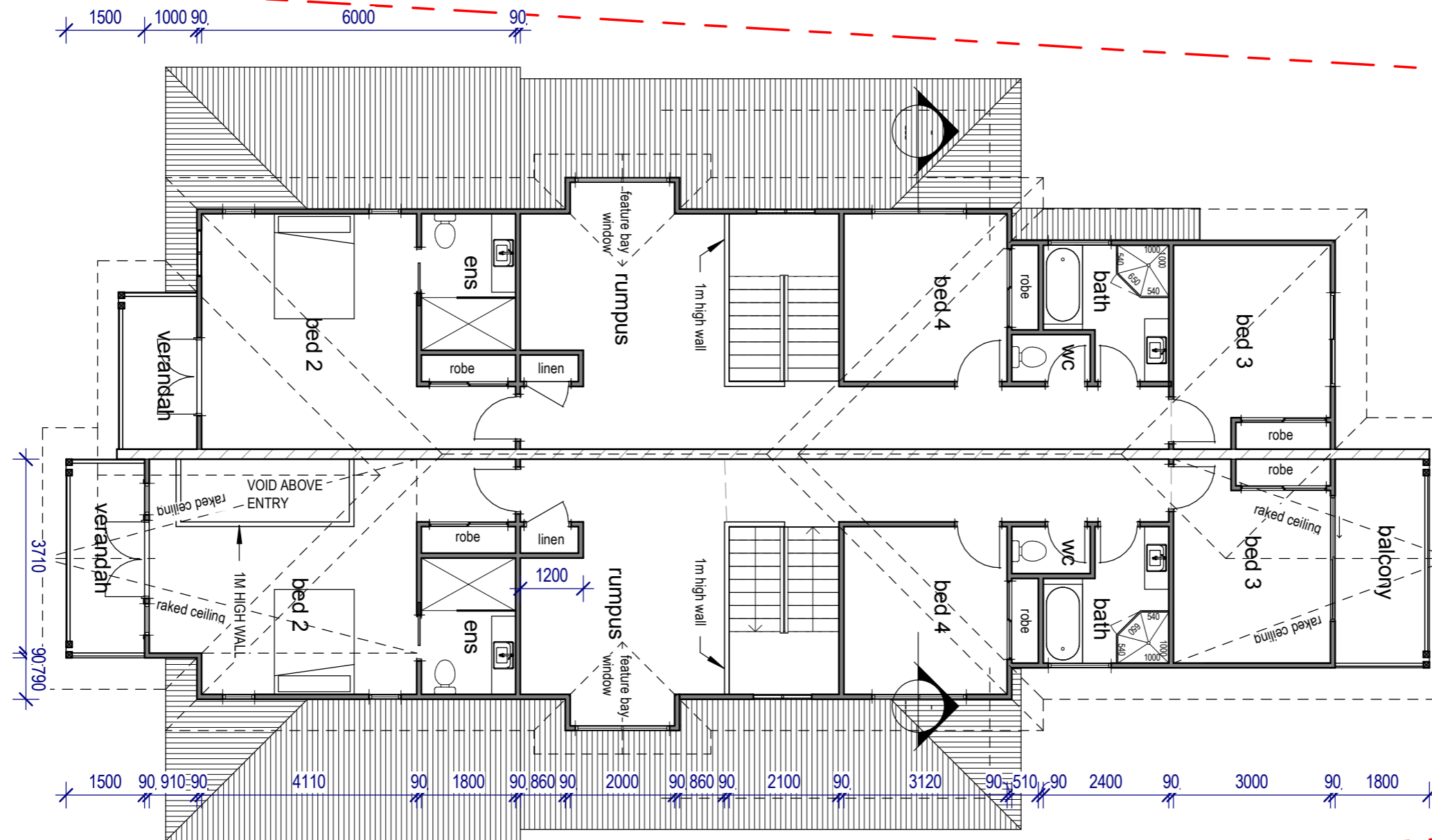
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# FIRST FLOOR PLAN

1 : 100



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## SKETCH PLAN 884-C

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CLIENT:  
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 FIRST FLOOR PLAN

SHEET NO:  
**4**



**ELEVATION A**

1 : 100



**ELEVATION B**

1 : 100

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**884-C**

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 EVANS HEAD

CLIENT:  
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ISSUE DATE:  
 20-02-19

SHEET TITLE:  
 ELEVATIONS 1

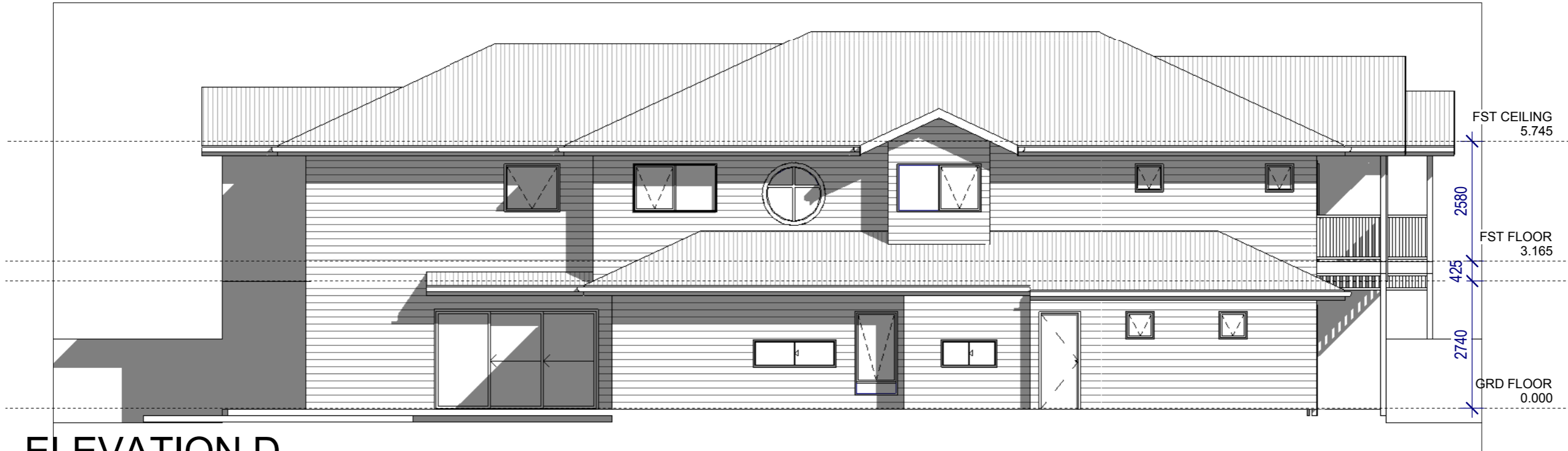
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**ELEVATION C**

1 : 100



**ELEVATION D**

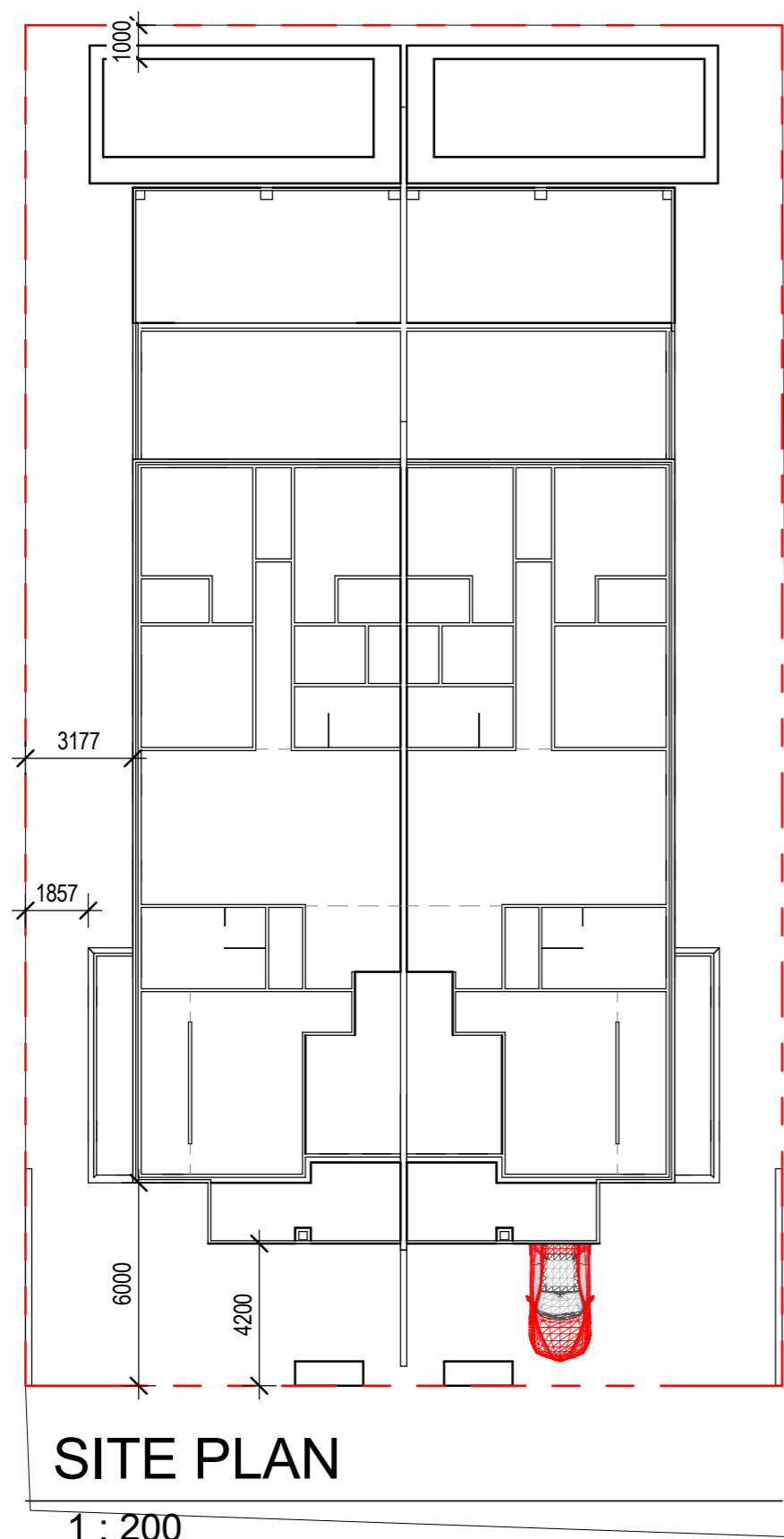
1 : 100

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<p>PRINT DATE: 21/02/2019 5:51:43 PM</p>		<p>SCALE @ A3: 1 : 100</p>	<p>DESIGN: TB</p>	<p>DRW BY: TB</p>		



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<p>PRINT DATE: 22/09/2018 5:32:27 PM</p>		<p>SCALE @ A3: 1 : 1</p>	<p>DESIGN: BH</p>	<p>DRW BY: TB</p>	



Building Area	
First floor	169.87
Ground floor	167.87
Garage	43.48
Terrace	32.06
Balcony	12.08
Porch	7.43
	432.79

**SITE PLAN**

1 : 200

**SKETCH PLAN**  
**894-B**

ADDRESS:  
LOT 20 DP XX  
CURRAJONG ST  
EVANS HEAD

CLIENT:  
**HARLEY**

SHEET TITLE:  
**SITE PLAN**

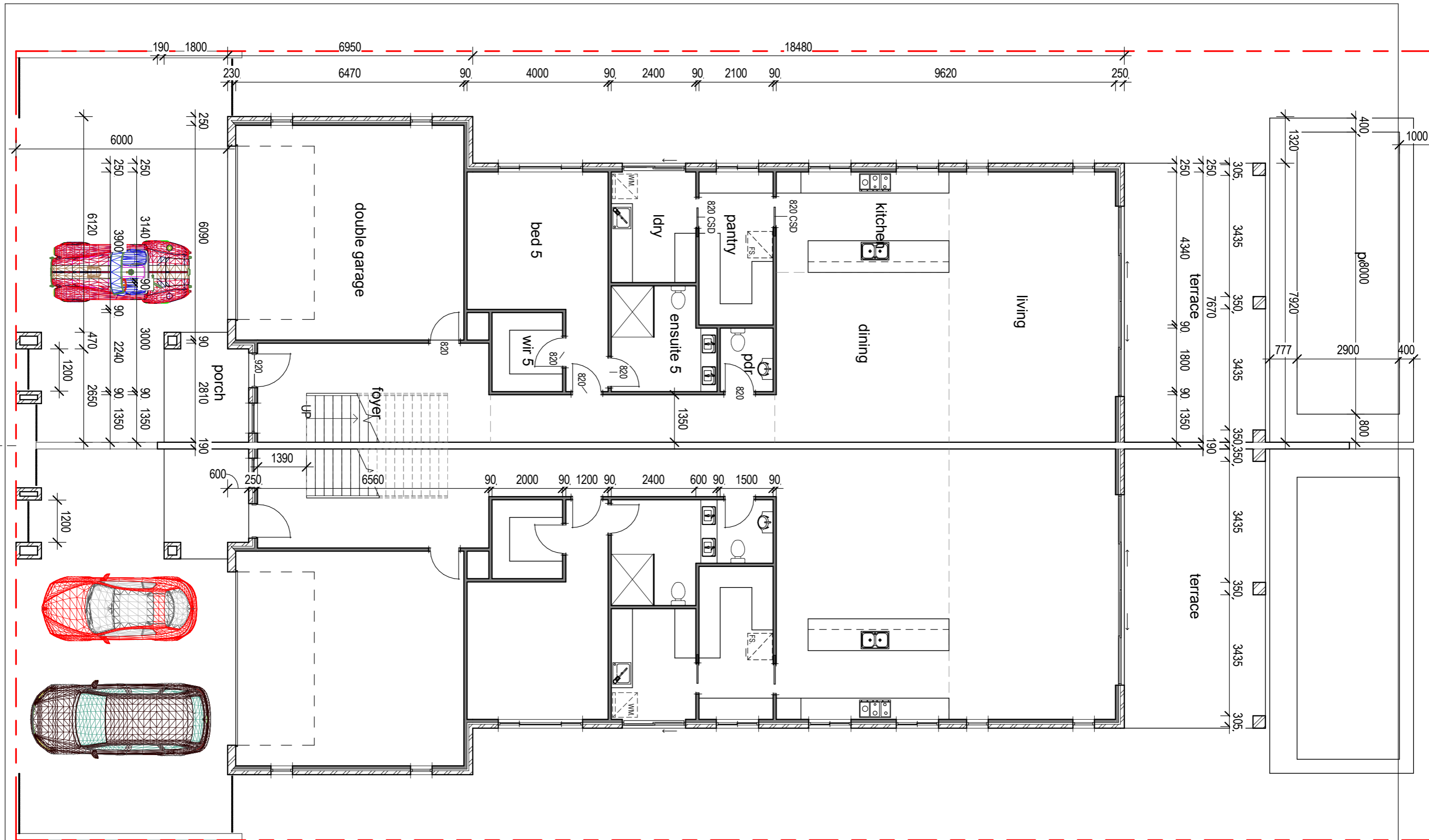
ISSUE DATE:  
22-09-2018

SHEET NO:  
**2**

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# SKETCH PLAN

## 894-B

ADDRESS:  
 LOT 20 DP XX  
 CURRAJONG ST  
 EVANS HEAD

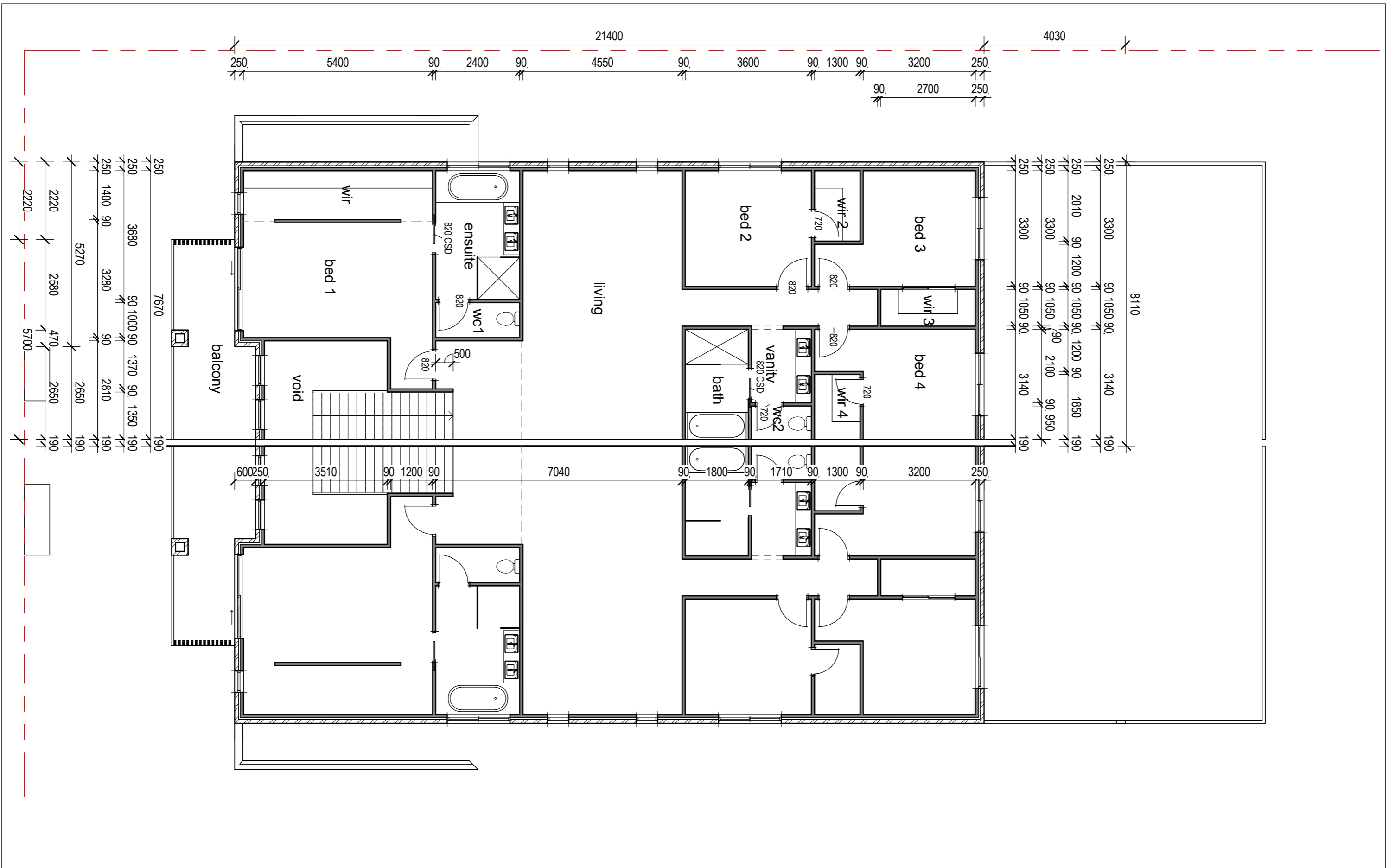
CLIENT:  
 HARLEY

SHEET TITLE:  
 GROUND FLOOR PLAN

ISSUE DATE:  
 22-09-2018

SHEET NO:  
**3**

PRINT DATE: 22/09/2018 5:32:29 PM SCALE @ A3: 1 : 100 DESIGN: BH DRW BY: TB



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**SKETCH PLAN**  
**894-B**

SCALE @ A3: 1 : 100

DESIGN: BH    DRW BY: TB

ADDRESS:  
 LOT 20 DP XX  
 CURRAJONG ST  
 EVANS HEAD

CLIENT:  
**HARLEY**

SHEET TITLE:  
**FIRST FLOOR PLAN**

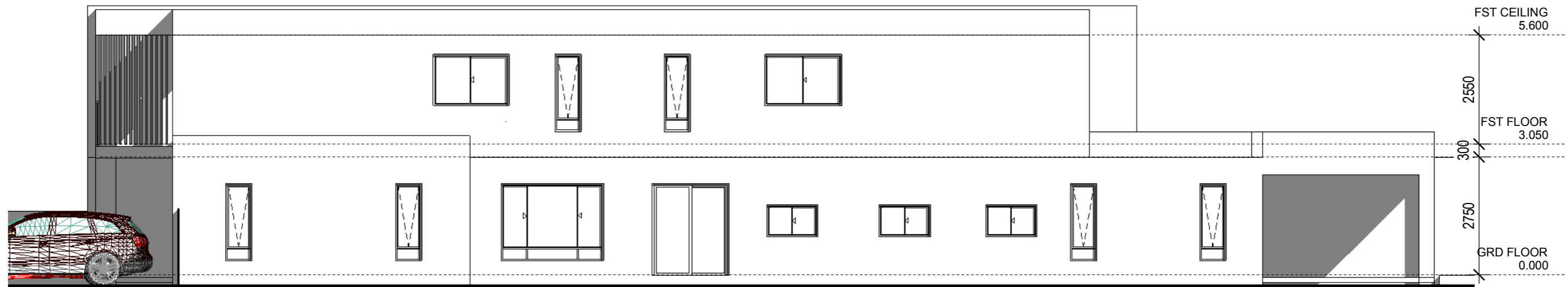
ISSUE DATE:  
 22-09-2018

SHEET NO:  
**4**



# ELEVATION A

1 : 100

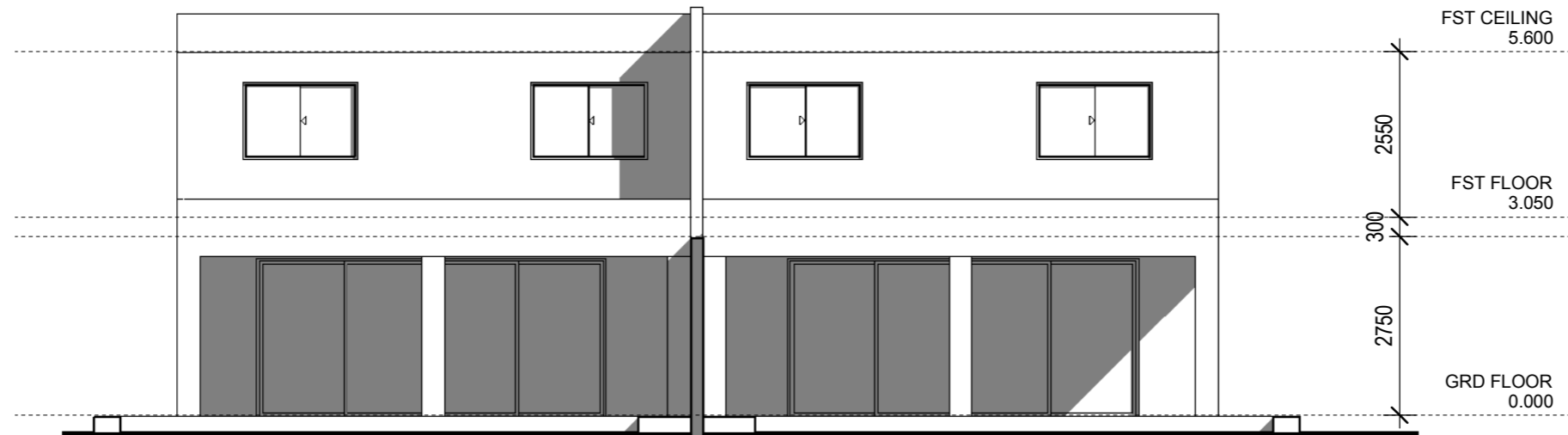


# ELEVATION B

1 : 100

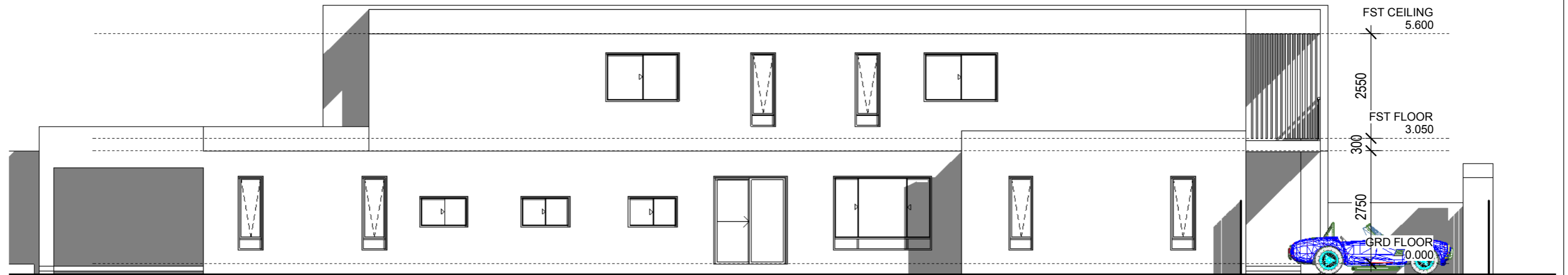
Brett Harley ABN:16839331763 Builders License No:101778C 22 Marigold Drive Fairy Hill NSW 2470 Ph: 0429 321 440	Copyright Brett Harley No part of these plans may be reproduced or transmitted in any form without the written permission of Brett Harley	<b>SKETCH PLAN</b> <b>894-B</b>			ADDRESS: LOT 20 DP XX CURRAJONG ST EVANS HEAD	CLIENT: <b>HARLEY</b>	ISSUE DATE: 22-09-2018
						SHEET TITLE: <b>ELEVATIONS 1</b>	SHEET NO: <b>5</b>
PRINT DATE: 22/09/2018 5:32:31 PM	SCALE @ A3: 1 : 100	DESIGN: BH	DRW BY: TB				





## ELEVATION C

1 : 100



## ELEVATION D

1 : 100

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**SKETCH PLAN**  
**894-B**

ADDRESS:  
 LOT 20 DP XX  
 CURRAJONG ST  
 EVANS HEAD

CLIENT:  
**HARLEY**

SHEET TITLE:  
**ELEVATIONS 2**

ISSUE DATE:  
 22-09-2018

SHEET NO:  
**6**

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