



# Development / Construction Certificate / Subdivision Application

10 Graham Place, CASINO  
19-25 Woodburn Street, EVANS HEAD  
Locked Bag 10, CASINO, NSW, 2470  
Phone: 02 6660 0300 Fax: 02 6660 1300 [council@richmondvalley.nsw.gov.au](mailto:council@richmondvalley.nsw.gov.au)

20 AUG 2019

DA No: 2020/0028	Date: 19/8/19	Records Use: <b>SCANNED</b> 20 AUG 2019 Doc. No. ....
CC No:	Amount \$ 2888.08	
CDC No:	Receipt No: 2069538	
Land No: 1011060	Property No: 176620	

## Applications submitted on this form (Environmental Planning and Assessment Act 1979)

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Development Application                | <input type="checkbox"/> Construction Certificate (Building)       |
| <input type="checkbox"/> Modify a Development Consent (Section 4.55)       | <input type="checkbox"/> Amend Construction Certificate (Building) |
| <input type="checkbox"/> Complying Development Certificate                 | <input type="checkbox"/> Occupation Certificate                    |
| <input type="checkbox"/> Subdivision Civil Works Certificate (Section 6.4) |  |

## 1. Applicant Details (all correspondence will be forwarded to this name and address)

It is important that you can be contacted should further information be required. Please provide as much detail as possible.

Terry Kelly and Joan Kelly

Company/Organisation: c/- PPlan

Postal Address PO Box 24, Chermide South

.....State: QLD Postcode 4032

Telephone – Business 1300 185 347 Mobile..... Private.....

Email Address [town.planning@pplan.net.au](mailto:town.planning@pplan.net.au) Fax.....

Name (Print) Susan Ward per PPlan Signature.. 

Date 01/8/2019

## 2. Site of Proposed Development

These details identify the land where the development is to be located.

Unit/Street No: 52 Street/Road: Currajong St

Suburb/Town/Locality: EVANS HEAD

Lot No 6 Sec Deposited / Strata / Plan DP 1248978

### 3. Owner(s) of the Land and Owners Consent

All owner(s) of the land to be developed must sign this form, attach separate sheet if required, provide the name of every owner. For companies, body corporate or Crown land refer to Notes for Completion on this form. Without the owner's consent, Council will not accept this application.

As the owner/s of the land to which this application relates, I consent to this application. I also consent for authorised Council staff to enter the land to carry out inspections relating to this application. I accept that all communications regarding this application will be through the nominated applicant and I understand that information will be made publicly available and published to the DAs online section of Council's website.

Family Name(s) or Company Terry Kelly and Joan Kelly

Given name(s) .....

Full Postal Address 10 Periwinkle Place BALLINA NSW 2478

.....

Telephone – Business.....Mobile 0427 152 004 Private 07 5585 2555

Email Address tezzakelly@hotmail.com Fax.....

\*\* If signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg, power of attorney, executor, trustee or company director).

Name (Print) See Attached Consent Signature.....

Name (Print)..... Signature.....

Name (Print)..... Signature.....

Date ...../...../.....

### 4. Development Description

Accurately describe all components of your proposal, including signs, use of the land/building, subdivision, demolition etc. (eg Dwelling, Residential Flat Building, Change of Use, Subdivision, Extractive Industry, Animal Establishment etc)

New Construction of Dwelling - 1 Storey

### 5. Cost of Development

Part 15 Division 1 of the Environmental Planning and Assessment (EP&A) Regulation 2000 sets out how to calculate the fees for development applications. For development that involves a building or other works, the fee for your application is based on the estimated cost of the development.

The cost of the development is the genuine estimate of:

- (a) The costs associated with the construction of the building; and
- (b) The costs associated with the preparation of the building for the purpose for which it is to be used (such as costs of installing plant, fittings, fixtures and equipment)

Note: Owner builders will need to include the full cost of labour.

Estimated cost of the development \$ 311658

(Please note that the cost must be a true market cost for the work, including all materials and labour costs – Estimate will be checked against current construction cost indices)



## 6. Development Type

- Local
  Concurrence (SEPP1)
  State
  Designated
  Integrated

## 7. Integrated Development

Integrated developments may require licences or approvals from a NSW Government agency. Council will refer the application to necessary agencies so that there is an integrated assessment of the proposal. All Integrated Development Applications require a cheque(s) for \$320.00 for each referral plus an extra copy of the complete DA for each authority.

Is your application for Integrated Development?  Yes  No (Please tick referrals required)

- Fisheries Management Act 1994  s144  s201  s205  s219  
 National Parks and Wildlife Act 1974  s90  
 Protection of the Environment Operations Act 1997  ss43(a),47,55  ss43(b),48,55  ss43(d),55,122  
 Water Management Act 2000  ss89, 90, 91  
 Heritage Act 1977  s58  
 Mining Act 1992  ss63, 64  
 Roads Act 1993  s138  
 Rural Fires Act 1997  s100B  
 Other.....

## 8. Complying Development only

Nominate the Planning Instrument you seek approval under:

- SEPP 4
  SEPP (Exempt & Complying Development Codes) 2008  
 SEPP60
  SEPP (Temporary Structures and Place of Public Entertainment)  
 SEPP (Infrastructure) 2007
  SEPP (Affordable Rental Housing) 2009

Relevant Part of SEPP

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.....

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## 9. Construction Certificate Amendments only

Accurately describe all components of proposed amendments to Construction Certificate

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## 10. Development Applications requiring Modification only

Clause 258 of the Environmental Planning and Assessment Regulation 2000 and the table attached to the clause set out how to calculate the fee for an application for modification of a consent.

If your development needs to be advertised to the public you may also need to include an advertising fee. Clause 258 of the Regulations includes details on these fees.

**Note:** Advertising fees attract GST, all other fees do not. Contact us if you need help to calculate the fee for your application

Estimated Cost of the Development \$

What was the original estimated cost of the development (including GST) \$

What is the Development Application Number

What is the date of the consent.

Describe what the original consent allows .....

Please indicate the type of modification you propose to make by placing a tick in the appropriate box. **Tick the appropriate box.**

Please Note: This application was formerly known as a Section 96 Modification.

- Section 4.55(1) Modification involving minor error, miss description or miscalculation
- Section 4.55(1a) Modification involving minimal environmental impact
- Section 4.55(2) Other modifications

### Tick Condition(s) to be modified

- Modify Condition No 1
- Modify and insert any other relevant conditions
- Other modification as specified below

On a separate page please provide the reasons for modification.

Will the modified development be substantially the same as the development that was originally approved?

No

Yes  ➤ Please provide evidence that the development will remain substantially the same. (If you need to attach additional pages, please list the material attached).



## 11. Principal Certifier (PCA)

### Appointment of Principal Certifying Authority

Richmond Valley Council       Private Certifier (*please complete details*)

Name Professional Certification Group

Full Postal Address PO Box 19  
Chernside South QLD 4032

Telephone – Business 1300 060 136      Mobile.....      Private.....

Accreditation Authority .....

Accreditation No ABC9      Expiry Date ...../...../.....

Company Issuing Indemnity Certificate .....

Expiry Date ...../...../.....

## 12. Builder Details

Name Coral Homes Pty Ltd

Full Postal Address PO Box 4627 ROBINA TOWN CENTRE QLD 4230

Telephone – Business 07 5585 2555      Mobile.....      Private.....

Builders Licence No 62084C      Expiry Date

Company Issuing Indemnity Certificate .....

Expiry Date ...../...../.....

(Note: Please supply a copy of owner/builder permit when obtained)

## 13. Building Materials

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

**All new buildings** (please complete the following):

Number of storeys (including underground floors):

Gross floor area of new building (m<sup>2</sup>)      Gross site area (m<sup>2</sup>): 685

**Residential buildings only** (please complete the following details on residential structures):

Number of dwellings to be constructed: 1      Number of dwellings to be demolished: 0

Number of pre-existing dwellings on site: 0

**Materials – residential buildings** (please indicate the materials to be used in the construction)

### Walls

Brick (double)   
Brick (vener)   
Concrete or stone   
Fibre cement   
Timber   
Metal   
Other   
Not specified

### Roof

Tiles   
Concrete or slate   
Fibre cement   
Steel   
Aluminium   
Other   
Not specified

### Floor

Concrete or slate   
Timber   
Not specified   
Other

### Frame

Timber   
Steel   
Aluminium   
Not specified   
Other

## 14. Environmental Effects of Your Development

In order for Council to assess your proposal, you will need to inform Council of the potential impacts it will have. Depending upon the nature and scale of your proposal, you may need to provide one or more of the statements listed below to explain its environmental effects as well as the way in which the development will operate. If you do not fully describe the impacts and the way the development will operate, this may result in processing delays.

**ALL Development Applications must be accompanied by a Statement of Environmental Effects this is a legal requirement** -- Refer to the attached Fact Sheet for what information to include.

Is your proposal designated development?

- No Please attach a **Statement of Environmental Effects (SEE)** Note: A SEE report will be required to be submitted for all development applications that are not classified as designated development.
- Yes Please attach an **Environmental Impact Statement (EIS)**.

Does your proposal require clearing of Native Vegetation?

- No
- Yes If yes please continue with below questions.

If yes, does your proposal exceed the clearing thresholds under Section 7.2 of the Biodiversity Conservation Regulation 2017 or is your proposal located on the Biodiversity Values Map (BV Map)?

- No Please attach a '**Test of Significance**'.
- Yes Proposal exceeds threshold, BAM Assessment required please attach a **Biodiversity Development Assessment Report**.
- Yes Proposal is below the threshold, but is on the BV Map, BAM Assessment required please attach a **Biodiversity Development Assessment Report**.

Does your 'Test of Significance' indicate there will be a significant impact?

- No Continue with assessment under Section 79C of the EP&A Act.
- Yes BAM Assessment required, please attach a **Biodiversity Development Assessment Report** or a **Species Impact Statement (SIS)**.

Further information in relation to clearing Native Vegetation can be found at the following address <http://www.environment.nsw.gov.au/biodiversity/entryrequirements.htm>

Does your proposal require works to a heritage item?

- No
- Yes Please attach a **Heritage Impact Statement**.

Does your proposal involve a variation to a development standard(s) (as contained within the Richmond Valley Council LEP 2012) or a variation to a development control(s) (as contained within the Richmond Valley Council DCP 2015)?

- No
- Yes, variation to development standard. Please attach an application to **vary the standard**.
- Yes, variation to development control. Please attach a request to **vary the development control**.



## 15. Section 68 Approvals

### Approvals under Section 68 of the Local Government Act, 1993

- Not applicable
- Carry out water supply work
- Carry out stormwater drainage work
- Carry out sewerage work
- Connect a private sewer with a public sewer
- Use a building as a place of public entertainment
- Connect a private drain with a public drain
- Install a sewage management facility & ancillary drainage
- Alter a sewage management facility & ancillary drainage
- Place a waste storage container in a public place
- Other .....

## 16. Approval under Section 138 of the Roads Act 1993

Does this proposed development involve roadworks on an existing public road, the opening of a public road or footpath area for public utility services, driveway access or stormwater drainage?

Note: The public road is not a classified road and approval is to be issued by Council.

- No
- Yes Please attach an **Application for Approval under Section 138 Roads Act 1993** prior to issue of Construction Certificate.
- Unsure

## 17. BASIX

A development application for any BASIX affected development must also be accompanied by a BASIX certificate (or certificates), being a BASIX certificate that has been issued no earlier than three months from the date of application. Any new dwellings, change of category class to a BASIX classification, alterations and additions over \$50k and swimming pools with capacity of 40k litres or more are all required to have a BASIX certificate submitted. The BASIX commitments listed on the certificate are to be listed on the plans or under separate cover.

Note: To find out if your development requires a BASIX certificate, please contact the BASIX Help Line on 1300 650 908.

Does your development require a BASIX certificate?

- No
- Yes Please attach a **BASIX certificate** and any other documents that are required by the BASIX certificate.

## 18. Rural Road Numbering

All properties are required to have a road/street number, which assists the Emergency Services locate properties.

Does the proposed development have a Council generated Rural Road / Street Number?

- No Please attach a **Rural Road Number application**.
- Yes

## 19. Concurrence

Some applications require the agreement of another Government Authority before an approval can be granted. A copy of your application will be sent to the relevant authorities to seek their agreement.

Does the proposed development require **Concurrence**?  Yes  No

If yes, please indicate from which whom Concurrence is required

- NSW Government Planning and Environment
- NSW Government Roads and Maritime Services
- NSW Government Environment and Heritage
- Other .....

## 20. Disclosure Statement

### Disclosure of Political Donations and Gifts

A person who submits a development application to Council is required to disclose the following reportable political donations and gifts (if any) made by any person with a financial interest in the application within the period commencing two years before the application is made and ending when the application is determined:

- All reportable political donations made to any local Councillor of the Council; and
- All gifts made to any local Councillor or employee of the Council.

A reference to a reportable political donation made to a local Councillor" includes reference to a donation made at the time the person was a candidate for election to the Council.

Significant penalties apply for non-disclosure. For more information and to obtain a political donations and gifts disclosure statement, go to the NSW Government Planning and Environment website [www.planning.nsw.gov.au/donations](http://www.planning.nsw.gov.au/donations)

Is a disclosure statement required to accompany your application

- No in signing this application, I undertake to advise the Council in writing if I become aware of any person with a financial interest in this application who has made a political donation or has given a gift in the period from the date of lodgement of this application and the date of determination.
- Yes Please complete the **Political donations and gifts disclosure statement** at [www.planning.nsw.gov.au/donations](http://www.planning.nsw.gov.au/donations).



## 21. Privacy and Copyright Notice

The completed development application form and any documents submitted with the application contains personal information that is being collected in order to assess, process and determine the application under the provisions of the Environmental Planning and Assessment Act 1979 (EP&A Act).

The information will be processed by the Development and Environmental Health Department of Richmond Valley Council and will be made available to public enquiries under the Government Information (Public Access) Act 2009 (GIPA). The information will be stored in Council's electronic document management system.

The information supplied is required under the EP&A Act. The supply of the information is voluntary, however if it is not supplied Richmond Valley Council may be unable to process the application.

Council has collected this personal information from you in order to assist it in its determination of this matter. You may make application for access or amendment to information held by Council.

You may also make a request that Council suppress your personal information from a public register. Council will consider any such application in accordance with the PPIPA.

### **Development Application and documents will be made publicly available**

This development application form (including any personal information and other information supplied on the form) and any document submitted with the development application will be made publicly available on Council's online DA tracker, and in other ways that the Council considers appropriate in accordance with sections 6 and 18 of the GIPA, and Schedule 1 of the GIPA Regulation.

### **Copyright Notice**

You are advised that Council will make copies (including electronic copies) of the development application and accompanying plans and documents for the purpose of complying with its obligations under the EP&A Act and the Local Government Act 1993. In addition the Council may make such further copies as are necessary to facilitate a thorough consideration of the development application. This includes the application form, plans and supporting documentation and the publishing of the same to Council's online DA tracker. The applicant is responsible for obtaining all copyright licences necessary from the copyright owners for this purpose.

## 22. Contact With Council Prior to Lodgement

Have you spoken with Council staff prior to lodging your application?

Yes

No

Was it a:  Pre-lodgement Meeting

Development Concierge

Counter/Phone Enquiry

If Yes, what was your experience like.....

OWNER NAME: Terry Kelly and Joan Kelly  
Job Number: 29547

PPlan  
PO Box 24  
CHERMSIDE SOUTH QLD 4032

Dear Sirs/Madams

**Owner consent for proposed house**  
**ADDRESS: Lot 6 Currajong Street, EVANS HEAD DP1248978**

I/We, as owners of the above property give consent for **PPlan** to sign and lodge on our behalf any Local and State Government forms necessary to obtain approval for **Coral Homes Pty Ltd** to build a house, including consent for the following as required under the *Environmental Planning and Assessment Act 1979, Local Government Act 1993, Roads Act 1993* and any other relevant legislation:

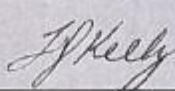
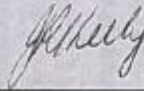
- Application for development consent and modification of development consent;
- Ancillary applications such as water service, rainwater tank, plumbing and drainage, on-site waste disposal, stormwater, erosion control, driveway crossover, long service levy and mine subsidence; and
- Any additional application that may be required by the relevant authority.

I/We, as owners also give consent for PPlan to view and obtain copies of plans, documents and approvals relating to the above site.

I/We also wish to advise that pursuant to Section 147(4) of the *Environmental Planning and Assessment Act 1979*, I/we have not made:

- A reportable political donation to any local Councillor, including candidate for election to Council; or
- Made any gift to any local Councillor or employee of the Council, within a period commencing two years before the submission is made and ending when the application is determined.

Yours sincerely

	
Owner Signature	Owner Signature
TERRANCE KELLY	JOAN KELLY
Owner Name	Owner Name
7-7-19	7-7-19
Date	Date



**Commonwealth Bank**



Commonwealth Bank of Australia

Date 13.08.2019

CHERMSIDE QLD

Pay NSW office of Environment & Heritage

or bearer branch \$ 320.00

The sum of three hundred and twenty  
dollars

NOT  
NEGOTIABLE

PROFESSIONAL PLANNING GROUP PTY LTD  
ABN 65601207961

*[Signature]*

⑈000369⑈ 064⑈105⑈ 1045⑈2439⑈

This cheque contains special security features including Thermochromic ink and micro printing.

## Development Application Checklist

Please tick all relevant boxes and attach information

- True Market Value of work
- Consent of all owners – see Note 3
- 6 Copies of plans for Integrated / Designated Development
- 3 Copies of plans for all other developments including detailed site plan – see Note 4 & 5
- 2 Copies of Specifications – see Note 6
- 2 Copies of Statement of Environmental Effects – see Fact Sheet & Note 11
- 3 Copies of Engineer's details (required prior to issue of Construction Certificate)
- 2 Copies of Rural Fire Service Bushfire Assessment – available at [www.rfs.nsw.gov.au](http://www.rfs.nsw.gov.au)
- 3 Copies of BASIX Certificate – available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au) – see Note 10  
(Required for new dwellings, change of use to a dwelling, additions over \$50k & swimming pools over 40k litres)
- 3 Copies of Relevant BASIX Commitments shown on plans – see BASIX Certificate
- Building Line Variation and/or DCP Variation – see separate form
- Water Sensitive Urban Design details – see Development Control Plan
- Floor and Ground Levels in Flood Prone Land
- Biodiversity Development Assessment Report or 'Test of Significance' for Native Vegetation clearing – available at <http://www.environment.nsw.gov.au/biodiversity/entryrequirements.htm>
- 2 Copies of Soil Classification Report, filter and pump specifications for Swimming Pool
- Copy of Home Warranty Insurance for residential work valued over \$20,000 (if builder undertaking work) – see Note 9
- On Site Sewage Management Application – 3 copies of Consultant's Report
- Integrated Development cheque(s)
- Disclosure of Political Donations and Gifts – see question 20
- Yes  No – Please send all correspondence / approvals by email only

### NOTE:

- Failure to supply all the information will result in delay of your application for which Council cannot accept responsibility and may result in a refusal of the application.
- An Owner Builder Permit is required for works over \$10,000. A Development Application number from Council is required to apply for permit with Department of Fair Trading.
- Machinery/Farm Sheds do not need insurance.

The assessment may identify other issues that may require clarification or further submissions.

**DEVELOPMENT APPLICATIONS MUST BE LODGED WITH COUNCIL  
PRIOR TO 3.30PM MONDAY TO FRIDAY**

### Applicant to complete:

I have read all the information attached to this development application and have completed the checklist above. I acknowledge that failure to supply all of the information requested by Council will result in the processing of this application being delayed.

Susan Ward per PPlan

Print Name



Signature

01/8/2019

Date





12 August 2019

The General Manager  
Richmond Valley Shire Council  
Locked Bag 10  
CASINO NSW 2470

Dear Sir/Madam

**Development Application for Proposed Single Storey Dwelling with attached garage  
52 Currajong Street Evans Head | Lot 6 DP 1248978**

Please find attached a Development Application for a dwelling on the above property comprising:

- Development Application Form and Checklist;
- Request to vary the Development Control Plan Form;
- Owners Consent and Fee Quote and copy of Home Warranty Insurance ;
- Two (3) copies of Statement of Environmental Effect/Town planning report;
- Three (3) copies Statement of Heritage Impact;
- Six (6) copies of drawings of the proposed house and contour plan (Notification Plans x 10);
- Three (3) copies of BASIX Certificate;
- Waste Management Plan; and
- CD copy of DA
  - Also submitted Water Connection and Plumbing Application;

Driveway Application will be lodged separately as required.

It is understood the ancillary charges will be calculated during the assessment process and advised as part of the Development Consent.

Please refer to Credit Card Authorisation Form for payment of \$2888.08 being fees as per fee quote;

- |                                |           |
|--------------------------------|-----------|
| • Development Application Fee: | \$1305.08 |
| • DA Archiving Fee:            | \$ 38.00  |
| • Advertised Development:      | \$1105.00 |
| • Sewer Connection:            | \$ 150.00 |
| • Builder Temp Toilet:         | \$ 150.00 |
| • Integrated Development Fee   | \$ 140.00 |

A referral fee **cheque** payment of **\$320** is attached for the NSW Office of Environment and Heritage Branch.

Please email a copy of the receipt to [town.planning@pplan.net.au](mailto:town.planning@pplan.net.au). Please do not hesitate to contact me on 07 3069 5795 if further information is required.

Yours sincerely

Susan Ward, **Town Planner**



# Request to vary the Development Control Plan

Richmond Valley Development Control Plan 2015

10 Graham Place, CASINO  
19-25 Woodburn Street, EVANS HEAD  
Locked Bag 10, CASINO, NSW, 2470  
Phone: 02 6660 0300 Fax: 02 6660 1300 [council@richmondvalley.nsw.gov.au](mailto:council@richmondvalley.nsw.gov.au)

Date:	Records Use
DA No:	
Property ID:	
Land ID:	

## APPLICANT DETAILS

Applicant/s Name	Terry Kelly and Joan Kelly	c/ PPlan
Address	52 Currajong St EVANS HEAD 2473	
Property Description	6 DP 1248978	

## VARIATION

### Description of variation, stating why it is considered onerous or unreasonable to comply

eg Vary building line setback – Chapter 1-3.3 "Front building line setbacks within Richmond Valley DCP

Vary building line setback - Chapter 1.3 "Front building line setbacks" and A1.6 "Garage setback" the non compliance is considered minor.

## STATEMENT OF IMPACTS

- 1. Likely effect on adjoining owners** (eg views to and from the lands, overshadowing, privacy, noise, drainage etc)

The proposed dwelling is a single storey dwelling which would not impact on the neighbouring lots.

- 2. Compatibility with streetscape?**

The proposed dwelling is consistent with other dwelling houses in the area. The streetscape character will be maintained. The proposed will still allow for a sufficient area at the front for landscaping.

- 3. How are the objectives/principles of the DCP satisfied by allowing this variation?**

The streetscape character will be maintained. The proposed will still allow for a sufficient area at the front for landscaping. The proposed dwelling is to be single storey and meets the side setbacks to allow for access to natural light and ventilation. The garage is setback over 6.96m to allow safe vehicle access and the garage would not impact on the streetscape. Adequate space is provided for additional vehicle parking.

- 4. Any other considerations?**

Applicant's Signature:  per PPlan

Date: 12-Aug-19



Office Use Only

**Report by Council Officer**

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**Recommendation**

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Assessing Officer: \_\_\_\_\_

Signed: \_\_\_\_\_

Date: \_\_\_\_\_

**Comments by Manager Planning and Development**

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**Approved** /  **Refused**

Manager: \_\_\_\_\_

Signed: \_\_\_\_\_

Date: \_\_\_\_\_

# Certificate in respect of insurance for residential building work

Policy No: HBCF19027329

Policy Date: 11/06/2019

A contract of insurance complying with sections 92 and 96 of the *Home Building Act 1989* (the Act) has been issued by Insurance and Care NSW (icare) for the insurer, the NSW Self Insurance Corporation (Home Building Compensation Fund). icare provides services to the NSW Self Insurance Corporation under section 10 of the *State Insurance and Care Governance Act 2015*.

<b>Period of Insurance</b>	The contract of insurance provides cover for both the construction period and the warranty period.
<b>In respect of</b>	New Single Dwelling Construction
<b>Description of construction as advised by builder<sup>^</sup></b>	New Single Dwelling
<b>At</b>	Lot 6 Currajong Street Evans Head New South Wales 2473
<b>Site plan number<sup>^</sup></b>	1248978
<b>Site plan type<sup>^</sup></b>	Deposited Plan
<b>Homeowner</b>	Mr Terry & Mrs Joan Kelly
<b>Carried out by</b>	CORAL HOMES PTY LTD
<b>Licence number</b>	62084C
<b>Builder job number<sup>^</sup></b>	29547
<b>Contract amount<sup>^</sup></b>	\$311,658.00
<b>Contract date<sup>^</sup></b>	18/06/2019 (Proposed)
<b>Premium paid</b>	\$1,658.02
<b>Cost of additional products or services under contract</b>	Nil - no additional services.
<b>Price (including GST and Stamp Duty)</b> <small>Note: The total price does not include any brokerage or other costs to arrange the insurance contract</small>	\$1,987.96

## <sup>^</sup>Additional information

Subject to the Act, the Home Building Regulation 2014 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary. This Certificate is to be read in conjunction with the policy wording current as at the policy date and available at the icare website at [www.icare.nsw.gov.au](http://www.icare.nsw.gov.au)

**Certificate No:** HBCF19027329

**Issued on:** 11/06/2019



**Signed on behalf of the insurer**

This certificate may only be cancelled within two (2) years of the policy date and only where no work has commenced and no monies have been paid under the building contract.

**IMPORTANT NOTE** Your contractor must give you either (a) a certificate of combined cover OR (b) 2 certificates, one covering construction period cover and a second certificate covering the warranty period for the work.

**icare**™ HBCF

hbcf Certificate of Insurance © State of New South Wales through NSW Self Insurance Corporation 2017





# Richmond Valley Council Quote

Quote No: Quote20/0051

Date Issued: 06/08/2019

Expiry Date: 30/06/2020

Applicant: Pplan  
PO Box 24  
CHERMSIDE SOUTH QLD 4032

Property: Lot 6 DP 1248978

Stage/Decision: Issued

Details: Dwelling - 52 Currajong Street Evans Head

Status: Current

Group: Development Application

Category: Residential Single Dwelling

Estimated Cost of Development: \$311,658.00

Lodged\*: 06/08/2019

Description	Quantity	Amount	GST	Total
Builders Temp Toilet Closet on Const Site	1.00	\$136.36	\$13.64	\$150.00
Insp and Cert of Sewer Connection Plans	1.00	\$150.00		\$150.00
Advertised Dev - Publ/Written/Sign - Refundable	1.00	\$1,105.00		\$1,105.00
Development Application Fee	311,658.00	\$1,305.08		\$1,305.08
Development Archiving Fees - All Dev Applications	311,658.00	\$34.55	\$3.45	\$38.00
Integrated Development Council Application Fee	1.00	\$140.00		\$140.00
Sub Total:		\$2,870.99	\$17.09	\$2,888.08
<b>Total:</b>		<b>\$2,870.99</b>	<b>\$17.09</b>	<b>\$2,888.08</b>

*This is a Quote only and the Fees and Charges may differ at the time of submitting the application. Further levies, fees or charges can only be determined during assessment of an application and may apply to any consent issued, eg; water services installations, infrastructure works, S64 water / sewer contributions, S94A levy, S94 heavy haulage charges etc*

*NOTE: Any fees listed above that have been determined at the direction of any current Act may differ at the time of payment, if the relevant Act changes prior to payment.*





# PPLAN

Proposal: Single Storey Dwelling with attached Double Garage

Location: 52 Currajong Street, Evans Head

Applicant: Terry Kelly and Joan Kelly C/- PPLAN



## STATEMENT OF ENVIRONMENTAL EFFECTS



## 1.0 EXECUTIVE SUMMARY

---

### 1.1 The Proposal

Description: Single storey dwelling with attached double garage

### 1.2 Site Details

Address: 52 Currajong Street Evans Head

RPD: L 6 DP 1248978

Restrictions: Heritage Agreement  
Easement  
Positive Covenant  
Aerodrome Emissions

Area: 685m<sup>2</sup>

Zone: R1 General Residential

### 1.3 Owner and Applicant Details

Applicant: Terry Kelly and Joan Kelly C/- PPLAN

Owner: Terry Kelly and Joan Kelly

Contact: Susan Ward C/- PPLAN

## 2.0 SITE ANALYSIS

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### 2.1 Property Description

The site is a residential lot having an area of 685m<sup>2</sup>. The lot is a regular shape and has sealed road access to Currajong Street. The rear boundary adjoins Memorial Airport.

Access will be gained from a new driveway lodged by owner under S138 of the *Roads Act 1993*.

The site is constrained by legal restrictions:

- Heritage Agreement
- Easement
- Positive Covenant
- Aerodrome Emissions

### 2.2 Natural Features

The lot is largely clear of vegetation. No vegetation will be removed as a result of the proposed development. Surrounding land is being developed for residential purposes and the rear boundary adjoins the memorial airport. The land is relatively flat.

### 2.3 Natural Hazards

The site is not subject to any natural hazards.

### 2.4 Access

The site has access to a sealed road.

### 2.5 Services

The site can be serviced with reticulated water.

## 3.0 DEVELOPMENT PROPOSAL

---

### 3.1 Proposal

The proposal involves construction of a single storey dwelling as documented in the attached drawings. The house is constructed on a concrete slab on ground and the rendered finish with a sheet metal roof at 20 degrees. Minimal earthworks are required (0.150m cut and 0.100m fill) to ensure a suitable building platform.

### 3.2 Pre-lodgment Meeting

None. However correspondence and advice was provided by Craig Rideout for Acoustic measures, contaminated land and Heritage requirements on the neighbor lot.

### 3.3 Related Applications

None.



## 4.0 TOWN PLANNING FRAMEWORK

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### 4.1 Environmental Planning and Assessment Act 1979

The following matters must be taken into consideration pursuant to section 4.15 of the Act:

#### 4.1.1 *Any Environmental Planning Instrument*

Instruments considered directly relevant to the proposal comprise the Richmond Valley Local Environmental Plan 2012 and State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004. See Section 4 of this Statement.

#### 4.1.2 *Any Draft Environmental Planning Instrument*

None.

#### 4.1.3 *Any Development Control Plan*

Richmond Valley Development Control Plan 2015. See section 5 of this Statement.

#### 4.1.4 *The Environmental Planning and Assessment Regulation 2000*

No specific provisions apply.

#### 4.1.5 *The Likely Impacts of the Development on the Natural and Built Environments, and Social and Economic Impacts*

See section 7 of this Statement.

#### 4.1.6 *The Suitability of the Site for the Development*

See Section 8 of this Statement.

#### 4.1.7 *Any Submissions*

See Section 8 of this Statement.

#### 4.1.8 *The Public Interest*

See Section 8 of this Statement.

## 5.0 ENVIRONMENTAL PLANNING INSTRUMENTS

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### 5.1 State Environmental Policies - BASIX

A BASIX Certificate is submitted with the application.

### 5.2 Richmond Valley Local Environmental Plan 2012

#### 5.2.1 Land Use Table

The land is zoned R1 General Residential. The primary objective are:

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that housing densities are generally concentrated in locations accessible to public transport, employment, services and facilities.
- To minimise conflict between land uses within the zone and land uses within adjoining zones.

Pursuant to the provisions of Richmond Valley Local Environmental Plan 2012, a dwelling house is permitted with consent.

#### 5.2.2 Principal Development Standards

##### Height of Buildings

The proposed house is less than 8.5 metres high.

##### Floor Space Ratio

Not applicable.

#### 5.2.3 Miscellaneous Provisions

##### Development within the coastal zone

Not applicable.

##### Preservation of trees or vegetation

Not applicable.

##### Heritage conservation

The site is affected Heritage listing on the land – State Heritage Listing – I-131 Evens Head Memorial Aerodrome. Section 60 Approval under the Heritage Act will be required with a SoHI.

#### 5.2.4 Additional Local Provisions

##### Acid Sulfate Soils

The site is affected by Class 3 Acid Sulfate Soils.

##### Earthworks

Not Applicable.

##### Flood Planning

The site is not susceptible to flooding.

##### Terrestrial Biodiversity

The site is unaffected.

##### Landslide risk

The site is unaffected.

##### Bushfire Prone

The site not affected Bush Fire Prone Land.

Natural Resource Overlay

Riparian land and Watercourses applies with reference to clause 6.8 of the LEP.

Australian Noise Exposure Forecasts

This land is not affected by a 25 ANEF contour or higher therefore clause 6.12 Richmon Valley LEP 2012 does not apply.

Contaminated Land Management Act 1997

The land is subject of a site audit statement. There has been a Site Audit Statement registered for this land by Cavvanba Consulting – Ref 11092 Statement ID: 0103-0907, issued on 17 Aug 2012.



## 6.0 DEVELOPMENT CONTROL PLANS

### 6.1 Richmond Valley Development Control Plan (DCP) 2015

The relevant section of the Richmond Valley DCP is Part A Residential Development – Dwelling Houses. The following table summarises compliance with the DCP.

Richmond Valley Council DCP Dwelling Houses – Design Standards and Controls		
Element		Assessment
A1.1	Visual and Amenity Impact	Complies. Consideration is given to heritage listing please see SoHI attached. Ch I-1 Heritage
A1.2	Maximum Site Cover	Not Applicable
A1.3	Building Line 6m Side and Rear Setback 900mm	Variation request for front setback 5960mm to wall 5310mm OMP Complies with objectives as only a small portion is proposed in front of the 6m therefore streetscape character will be maintained. The proposed will still allow for a sufficient area at the front for landscaping. The proposed dwelling is to be single storey and meets the side setbacks to allow for access to natural light and ventilation. The garage is setback over 6.96m to allow safe vehicle access.
A1.4	Building Height Plane	Complies
A1.5	Open Space – Landscaped and Private 30%	Complies.
A1.6	Carparking 2 spaces Garage 7m setback	Variation request for garage setback 6960mm proposed. Complies with objectives as the non-compliance is minor and the garage would not impact on the streetscape. Adequate space is provided for additional vehicle parking.
A1.7	Hazards – Bushfire Acid sulfate Soils Contaminated Lands	Complies Reference to Contaminated Lands audit appears to be clear.
A1.8	Water, Stormwater and Sewage 5000L rainwater tank	3000L proposed, please condition
A1.9	Earthworks and Retaining Walls	Not Applicable
A1.10	Safety and Security	Complies.
A1.11	Additional Notes and Provisions	Complies.

### 6.2 Notification and Advertising

The relevant section of the Richmond Valley DCP is Part J Notification and Advertising of Development. The proposal will require notification as a Category D Development Type.

## 7.0 LIKELY IMPACTS OF THE DEVELOPMENT

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The land is zoned for residential purposes. A dwelling is consistent with the zone and will not impact on the surrounding lands or uses.





## 8.0 OTHER MATTERS

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### 8.1 Suitability of the Site for Development

The site has been developed for residential purposes. The proposal is consistent with the intended purpose, as well as the zoning of the land.

### 8.2 Public Interests

The development of the site is consistent with the intended purpose of the zone and the standards contained in the Richmond Valley DCP.

### 8.3 Submissions

Council may consider submissions if made in relation to this proposal.



**PROFESSIONAL  
PLANNING GROUP**

**P: 07 3069 5795 F: 07 3069 5760**

**A: 10 Hall Street, Chermside QLD**

**PO Box 24, CHERMSIDE SOUTH, QLD 4032**



Description of works - Construction of new residential dwelling by Coral Homes at:

**SITE ADDRESS:** 6 Currajong Street EVANS HEAD 2473 (DP# DP1248978)

**EXISTING STRUCTURE/S:** Vacant Land

**PROPOSED STRUCTURE/S:** New Residential (Class 1a/10) Dwelling

This Plan has been prepared in accordance with the LGA (Local Government Area) DCP (Development Control Plan) to outline the proposed method of managing and minimising waste where possible, generated on construction site during the course of the construction at the above address until the occupation of the legal owner where the occupation certificate has been obtained and completion of the building contract has been fulfilled.

Any existing structures and vegetation to be removed from site by the owner, prior to the commencement of construction.

**SIGNATURE OF APPLICANT:** .....

**Date:** 31 July 2019



# WASTE MANAGEMENT PLAN

NSW ONLY

# CORAL HOMES

## Objective

The operation of the construction of the new dwelling will generate a range of wastes. Where possible and practicable Coral Homes will endeavour;

- To minimise waste generation in the design and construction stage of the development.
- To encourage better site management and ordering of materials to ensure less waste is produced, and any waste produced is reused or recycled where possible.
- To monitor and review periodically through pre-site (estimating) and on site audit learnings.

## Waste Minimisation

- Wastes from Coral Homes operations have the potential to impact on the environment, it also impacts Coral Homes revenue, this potentially reduces the affordability of a new home to the consumer. The Waste Management Plan has been developed to manage the risks associated with the potential impacts including minimising waste generation.
- Coral Homes will implement all possible waste minimisation procedures and therefore reduce the amount of waste to be removed from sites. Management, staff, design teams, contractors and suppliers will all be encouraged to look at ways to minimise the amount of waste generated at the work sites.

Where possible and reasonably practicable Coral Homes will consider the Waste Minimisation Hierarchy as referenced in the Waste Avoidance and Resource Recovery Act 2001, as a comprehensive basis for reducing waste by following the waste hierarchy

- Avoid;
- Re use;
- Recycle;
- Landfill;

Other categories need to be dealt within legislative requirements such as

- Sanitary;
- Contaminated / Hazardous Wastes

## Avoid

The design stage is a crucial stage for waste avoidance, monitoring and reviewing estimation recipes in conjunction with reviewing surplus materials audits, consultation with construction staff and other stakeholders. Due to some construction materials that are deliverable with a minimum quantity or industry standard length therefore there is an element of unavoidable surplus.

### Re-use

Where possible and reasonably practicable, if surplus materials can be used in future operations they are classified as materials which can be re-used, i.e. timber, bricks, steel). Materials that can be reused in their present form are surplus to requirements and need to be removed from site will be reused. The surplus products may be collected by the supplier for a credit or reused on another project.

### Recycling

Where possible and reasonably practicable, if surplus materials cannot be reused in their present form but could be used in a different form, they will be sent to recycling

### Landfill

If the above options cannot be satisfied, then the only alternative left is to send the surplus materials to landfill. These usually consist of materials that is not economically nor environmentally viable to recycle or are measured to size prior to delivery to reduce trimming waste.

### Sanitary

All sanitary products will be contained within receptacles supplied by a contractor. The contractor will also be responsible for disposal of these wastes.

### Contaminated / Hazardous Wastes

While all reasonable efforts are made to risk assess sites and identify contaminated / hazardous prior to starting construction project, the occasional instance of illegal dumping by other parties or unearthing contaminated / hazardous materials discovered. Arrangements will be made for the engagement of appropriately qualified specialist contractor in hazardous materials handling. The contractor will also be responsible for disposal of these wastes that is within legislative requirements.

Notice to staff will be given immediately if hazardous materials or conditions are found onsite that are in unprotected environments including the following:

- Asbestos or material containing asbestos;
- Flammable or explosive liquids or gases;
- Toxic or contaminated materials;
- Radiation or radioactive materials;
- Noxious or explosive chemicals;
- Unexploded ordinances (UXO)
- Tanks or other contaminated substances



# WASTE MANAGEMENT PLAN

## NSW ONLY

CORAL HOMES

### Site waste management during construction:

Table 1 provides an overview of the potential wastes, their classification and avenues of disposal.

MATERIALS	PROCESS	EST. VOLUME	ON SITE PREPARATION	OFF SITE PREPARATION	END USE
<b>Bricks</b>					
Whole bricks	Re-use	<1m3	Cleaned / Stored	Stored, re-sold, re-allocated	Used for next project/ spares
Broken, offcuts	Recycle	<3m3	Stockpiled	Crushed and resold	Driveways
<b>Carpet</b>					
Large sized off cuts	Re-use	<1m3	Cleaned / Stored	N/A	Patches, door mats
Trimmed waste	Dispose	<1m3	N/A	Landfill	Landfill
<b>Concrete</b>					
Reclaimed	Recycle	<1m3	Crushed	Crushed and resold	Fill, levelling, road base
Surplus pour	Recycle	<1m3	Use/return surplus	Supplier to recycle	Pavers, slabs
<b>Containers/Drums</b>					
Plastic/steel	Dispose	<1m3	N/A	Landfill	Landfill
<b>Fittings &amp; Fixtures</b>					
Doors, windows	Re-use	<1m3	Cleaned	Stored, re-sold, re-allocated	Used for next project/ spares
Hardware	Re-use	<1m3	Cleaned	Stored, re-sold, re-allocated	Used for next project/ spares
<b>Glass (unbroken)*</b>					
All	Dispose	<1m3	N/A	Landfill	Landfill
<b>Green Waste</b>					
Grass & soil	Recycle	<10m3	Stockpiled	N/A	Compost, mulch, fertiliser
<b>Metals</b>					
Aluminium, copper, lead, zinc, steel	Recycle	<1m3	Sorted	Recycled	Other steel products
<b>Packaging</b>					
Cardboard/ plastic / styrene	Dispose	<1m3	N/A	Landfill	Landfill
<b>Paint</b>					
Empty paint tins	Dispose	<1m3	N/A	Landfill	Landfill
Paint	Re-use	<1m3	Stored	N/A	Touch up maintenance
<b>Plasterboard (clean)</b>					



# WASTE MANAGEMENT PLAN

NSW ONLY

CORAL HOMES

MATERIALS	PROCESS	EST. VOLUME	ON SITE PREPARATION	OFF SITE PREPARATION	END USE
Whole sheets (undamaged)	Re-use	<1m3	Stored/ cleaned	Stored, re-used	Used for next project
Offcuts and damaged sheets	Recycle	<3m3	Reprocessed	Supplier to recycle	New plasterboard
<b>Roof Tiles</b>					
Cleaned	Re-use	<1m3	Stored	Stored, re-used	Used for next project/ spares
Broken	Recycle	<1m3	Crushed	Crushed and resold	Landscaping, driveways, drains
<b>VENM</b>					
Clay, gravel, sand, soil or rock fines	Re-use	<15m3	Screened	Re-used	Clean Fill
<b>Timber</b>					
Natural, Treated & processed	Re-use	<2m3	De-nailed	Re-used	Used for next project
Off cuts and limited quantity	Dispose	<1m3	N/A	Landfill	Landfill
<b>Polystyrene waffle pods</b>					
Whole pods	Re-use	<3m3	Cleaned	Stored, re-used	Used for next project
Broken	Recycle	<3m3	Collected and bagged	Supplier to recycle	recycled to new pods
<b>Ceramic Tiles</b>					
Full tiles	Re-use	<1m3	Cleaned	Returned to the supplier	Spare, maintenance or returned
Broken	Dispose	<1m3	N/A	Landfill	Landfill
<b>Rock</b>					
From excavation	Dispose	<5m3	N/A	Landfill	Landfill
<b>Insulation</b>					
Glass batts - whole packs	Re-use	<1m3	Stored	Stored, re-used	Used for next project
Foil wrap substantial roll	Re-use	<1m3	Stored	Stored, re-used	Used for next project
Glass batts - offcuts	Dispose	<1m3	N/A	Landfill	Landfill
Foil wrap - offcuts	Dispose	<1m3	N/A	Landfill	Landfill
<b>Hebel</b>					
Full sheets	Re-use	<1m3	Stored	Stored, re-used	Used for next project
Off cuts	Dispose	<1m3	N/A	Landfill	Landfill
<b>Masonry sheeting/cladding</b>					
Full sheets/lengths	Re-use	<1m3	Cleaned	Stored, re-used	Used for next project
Off cuts	Dispose	<1m3	N/A	Landfill	Landfill

# WASTE MANAGEMENT PLAN

NSW ONLY

# CORAL HOMES

\*\*Details below are correct at the time of this document was prepared, however trades and suppliers will change from time to time.

Area	Contractor for Site Excavation	Contractor for Site Clean	Options for recycling (determined by the contractor)	supplier / manufacturer of plasterboard
<b>Sydney</b>	Barry Sinclair 972 Leggetts Drive, Mount Vincent, NSW Ph: 0400 920 228	East Coast 2 Barid Street, Hamilton North, NSW Ph: 0418 284 463	WSN Environmental Solutions Auburn, Belrose, Chullora, Eastern Creek, Jacks gully ph: 1300 651 116  Sydney Recycling Centres Botany, Belrose, Moorebank ph: (02) 9316 6333  Brandown recyclers Kemps Creek ph: (02) 9826 1256	USB Boral Building Products P/L 3 Thackeray Street, CAMELLIA NSW 2142 Ph: 02 9638 0571
<b>Newcastle Central Coast</b>	Barry Sinclair 972 Leggetts Drive, Mount Vincent, NSW Ph: 0400 920 228	East Coast 2 Barid Street, Hamilton North, NSW Ph: 0418 284 463	<b>General Waste Sites:</b> Buladelah – Pacific Highway/Dungog – Short Street East Maitland – Mt Vincent Road Gloucester Kincumber – Cullens Road, Kincumber Lake Macquarie – Wilton Street, Awaba Newcastle – Summerhill Port Stephens – Soldiers Point Road Raymond Terrace – Newline Road Stroud – Simsville Road Tea Gardens – Wanya Road Woy Woy – Nagari Road, Woy Woy Wyong – Hue Hue Road, Buttonderry <b>Recycling – Hardfill (bricks, concrete, tiles)</b> AMS – Hue Hue Road, Buttonderry/Boral – Koorangang Island Concrush – Teralba CBS – Donaldson Road, North Wyong Rexdor – Kerns Road, Kincumber	USB Boral Building Products P/L 3 Thackeray Street, CAMELLIA NSW 2142 Ph: 02 9638 0571



# WASTE MANAGEMENT PLAN

NSW ONLY

# CORAL HOMES

<p><b>Port Macquarie</b></p>	<p>S.Karbowiak 180 Hewens Road Brombin NSW Ph: 0409 021 963</p>	<p>S.Karbowiak 180 Hewens Road Brombin NSW Ph: 0409 021 963</p>	<p><b>General Waste Sites:</b> Cairncross Landfill - 8395 Pacific Hwy, Telegraph Point <b>Recycling – Hardfill (bricks, concrete, tiles)</b> Bridle Recycling Lake Rd, Port Macquarie</p>	<p>Crushers Plastering 34 Hart Street, PORT MACQUARIE NSW 2444 Ph: 0418 656 918</p>
<p><b>Coffs Harbour</b></p>	<p>Stocks Earthmoving 23 Symons Avenue, Boamee, NSW 2450 Ph: 0438 780165</p>	<p>MW Earthmoving 28 Shipmans Road, Glenreaghph: 0417 477 534</p>	<p><b>General Waste Sites:</b> Lowanna Waster Transfer FacilityLowanan Road, Lowanna <b>Recycling – Hardfill (bricks, concrete, tiles)</b> Coffs Coast Resource Recovery Park - England's Road, Coffs Harbour</p>	<p>Rod Anderson Plastering P/L 30 Crown Street, BELLINGEN NSW 2454 Ph: 0428 552 342</p>
<p><b>Tweed Ballina Lismore Byron</b></p>	<p>Woodeson Excavation 254 Mount Nathan Rd, Nerang, QLD Ph: 0413 155 355  Conlan Bros 312 Wyrallah Road, East Lismore, NSW Ph: 0438 537 120</p>	<p><b>Tweed:</b> B &amp; C Earthworks PO Box 398, Ormeau, QLD Ph: 0404 143 820  <b>Pottsville to Tweed:</b> Mal McCalman 12 Riverbend Way, Murwillumbah NSW 2484 Ph: 0400 239 127  <b>Tweed to Evans Head including Casino and Kyogle:</b> Ben's Bobcat 19-21 Northcott Crescent, Alstonville NSW 2477 Ph: 0414 286 840</p>	<p><b>General Waste Sites:</b> Stotts Creek Resource Recovery Centre - Leddays Creek Road, Stotts Creek, Off Tweed Valley Way. Lismore Recycling &amp; Recovery Centre 313 Wyrallah Road, East Lismore Ballina Waste Management Centre - 167 Southern Cross Drive, Ballina (in Ballina's Industrial Estate) Byron Resource Recovery - 115 Manse Rd, Myocum  <b>Recycling – Hardfill (bricks, concrete, tiles)</b> Stotts Creek Resource Recovery Centre - Leddays Creek Road, Stotts Creek, Off Tweed Valley Way. Ballina Waste Management Centre - 167 Southern Cross Drive, Ballina (in Ballina's Industrial Estate) Byron Resource Recovery - 115 Manse Rd, Myocum Lismore Recycling &amp; Recovery Centre 313 Wyrallah Road, East Lismore</p>	<p>M &amp; A Plastering 10 The Anchorage, TWEED HEADS NSW 2485 Ph: 0427 344 835</p>
		<p><b>Evans Head to Grafton:</b> Ray's Bobcat Earthmoving 20</p>		



**WASTE MANAGEMENT PLAN**  
NSW ONLY

**CORAL HOMES**

		Candole Street, Tucabia NSW 2462 Ph: 0439 315 970		
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# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Single Dwelling

Certificate number: 1007548S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)



Planning &  
Environment

Secretary

Date of issue: Thursday, 18 July 2019

To be valid, this certificate must be lodged within 3 months of the date of issue.

Project summary	
Project name	29547
Street address	52 Currajong Street evans head 2473
Local Government Area	Richmond Valley Council
Plan type and plan number	deposited DP124897
Lot no.	6
Section no.	-
Project type	separate dwelling house
No. of bedrooms	4
Project score	
Water	✓ 43 Target 40
Thermal Comfort	✓ Pass Target Pass
Energy	✓ 50 Target 50

Certificate Prepared by	
Name / Company Name:	Coral Homes Pty. Ltd.
ABN (if applicable):	440 110 329 29

# Description of project

Project address	
Project name	29547
Street address	52 Currajong Street evans head 2473
Local Government Area	Richmond Valley Council
Plan type and plan number	Deposited Plan DP124897
Lot no.	6
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m <sup>2</sup> )	686
Roof area (m <sup>2</sup> )	311
Conditioned floor area (m2)	165.09
Unconditioned floor area (m2)	12.7
Total area of garden and lawn (m2)	250

Assessor details and thermal loads	
Assessor number	16/1757
Certificate number	0003750999
Climate zone	11
Area adjusted cooling load (MJ/m <sup>2</sup> .year)	19
Area adjusted heating load (MJ/m <sup>2</sup> .year)	13
Project score	
Water	✓ 43 Target 40
Thermal Comfort	✓ Pass Target Pass
Energy	✓ 50 Target 50



## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 120 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> <li>• all toilets in the development</li> <li>• the cold water tap that supplies each clothes washer in the development</li> <li>• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		✓	✓

Thermal Comfort Commitments			
Simulation Method	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<p>The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.</p>			
<p>The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.</p>			
<p>The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.</p>			
<p>The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.</p>	✓	✓	✓
<p>The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.</p>		✓	✓
<p>The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.</p>	✓	✓	✓
<b>Floor and wall construction</b>			
<p>floor - concrete slab on ground</p>			
	<b>Area</b>		
	All or part of floor area square metres		



Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 4 of the bedrooms / study;		✓	✓
• at least 4 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓



Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"> <li>• all bathrooms/toilets;</li> <li>• the laundry;</li> <li>• all hallways;</li> </ul>		<p style="text-align: center;">&gt;</p> <p style="text-align: center;">&gt;</p> <p style="text-align: center;">&gt;</p>	<p style="text-align: center;">&gt;</p> <p style="text-align: center;">&gt;</p> <p style="text-align: center;">&gt;</p>
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	>		>
<b>Other</b>			
The applicant must install a fixed outdoor clothes drying line as part of the development.		>	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		>	

## Legend


In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

## NatHERS Assessment

<b>Project Details</b>	<p><b>Address:</b> 52 Currajong Street, Evans Head, NSW, 2473</p> <p><b>Lot and Plan:</b> 6 DP1248978</p> <p><b>Council:</b> Richmond Valley Council</p> <p><b>NCC Climate Zone:</b> 2</p> <p><b>Project Description:</b> New Dwelling</p> <p><b>Building Classification:</b> 1a</p>
<b>Result</b>	<b>Complies with maximum heating and cooling loads in BASIX</b>
<b>Construction Details and Minimum Requirements</b>	<p><b>External Walls:</b> Brick veneer</p> <p><b>Insulation:</b> Reflective foil and R2.0 batts</p> <hr/> <p><b>Internal Walls:</b> Plasterboard</p> <p><b>Insulation:</b> N/A</p> <hr/> <p><b>Floor:</b> Waffle pod</p> <p><b>Insulation:</b> N/A</p> <hr/> <p><b>Ceiling:</b> Plasterboard</p> <p><b>Insulation:</b> R3.5 batts</p> <hr/> <p><b>Roof:</b> Colorbond (dark colour)</p> <p><b>Insulation:</b> Reflective foil</p> <hr/> <p><b>Glazing:</b> Single clear with aluminium frames</p> <hr/> <p><b>Ceiling Penetrations:</b> 1 x sealed exhaust fan</p> <hr/> <p><b>Other:</b> N/A</p>
<b>Assessor Details</b>	<p><b>Name:</b> Conor Horwood</p> <p><b>Accreditation Number:</b> VIC/BDAV/16/1757</p> <p><b>Signature:</b></p> 

DISCLAIMER: The report and results above have been calculated using information made available to Accelerate Sustainability Assessments as supplied on the referenced drawings. The report and subsequent results are specific to this data and shall become null and void if any variations are made. Unless information has been noted on the drawings, or advised in writing, the results and report reflect a worst case scenario whereby default values and assumptions have been applied.



# Nationwide House Energy Rating Scheme\* Certificate



Certificate number: **0003750999**

Certificate Date: **04 Apr 2019**

★ Star rating: **7.2**

BERS Pro v4.3.0.0 (3.13) cannot be used to model 'roof windows'. Roof windows are 'openable or fixed windows in a roof' and do not have a shaft, as distinct from skylights which incorporate a built-in shaft and are not ventilated. BERS Pro v4.3 can only model skylights. If a roof window is present on the floor plan then this certificate is not valid.

## Assessor details

Accreditation number: **VIC/BDAV/16/1757**  
 Name: **Conor Horwood**  
 Organisation: **Accelerate Sustainability Assessments**  
 Email: **conor.horwood@accsa.net.au**  
 Phone: **07 3069 5757**  
 Declaration of interest: **None**  
 Software: **BERS Pro v4.3.0.2d (3.13)**  
 AAO: **BDAV**

## Overview

### Dwelling details

Street: **52 Currajong Street**  
 Suburb: **Evans Head**  
 State: **NSW** Postcode: **2473**  
 Type: **New Dwelling** NCC Class: **1A**  
 NatHERS climate zone: **11**  
 Lot/DP number: **6/1248978** Exposure: **Suburban**

### Key construction and insulation materials

(see following pages for details)

Construction: **Brick Veneer**  
**Corrugated Iron**  
**Waffle pod slab 175 mm**  
 Insulation: **R2.0 wall insulation**  
**R3.5 ceiling insulation**  
**No floor insulation**  
 Glazing: **AL-003-04 A AI Sliding Window SG 4Clr**

### Net floor area (m<sup>2</sup>)

Conditioned: **164.0**  
 Unconditioned: **46.0**  
 Garage: **33.0**  
 TOTAL: **209.0**

### Annual thermal performance loads (MJ/m<sup>2</sup>)

Heating: **13.4**  
 Cooling: **19.0**  
 TOTAL: **32.5**

### Plan documents

Plan ref/date: **J29547**  
 Prepared by: **Coral Homes**

**7.2**  
 The more stars  
 the more energy efficient

**NATIONWIDE HOUSE**  
 ENERGY RATING SCHEME

Predicted annual energy load for heating and cooling based on standard occupancy assumptions

**32.5** MJ/m<sup>2</sup>

For more information on your dwelling's rating see:  
[www.nathers.gov.au](http://www.nathers.gov.au)

### Ceiling penetrations

(see following pages for details)

Sealed: **1**  
 Unsealed: **0**  
 TOTAL\*\* **1**

\*\*NOTE: This total is the maximum number of ceiling penetrations allowed to a ceiling (under a roof) for this certificate. **If this number is exceeded in construction then this certificate IS NOT VALID and a new certificate is required.** Loss of ceiling insulation for the penetrations listed has been taken into account with the rating.

Principle downlight type: **Unknown**

### Window selection - default windows only

Note on allowable window values: Only a 5% tolerance to the nominated SHGC window values shown on page 2 can be used with this rating.

Note: Only a +/- 5% SHGC tolerance is allowed with this rating.

NB: This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated on page 2.

If any of windows selected are outside the 5% tolerance then this certificate is no longer valid and the dwelling will need to be re-rated to confirm compliance.

Scan to access this certificate online and confirm this is valid.





# Nationwide House Energy Rating Scheme\* Certificate

Certificate number: 0003750999

Certificate Date:

04 Apr 2019

★ Star rating:

7.2



## Building features

### Window type and performance value

Window ID	Window type	U-value	SHGC
AL-012-04 A	AL-012-04 A Al Sliding Door SG 4Clr	6.1	0.72
AL-003-04 A	AL-003-04 A Al Sliding Window SG 4Clr	6.1	0.76
AL-001-04 A	AL-001-04 A Al Awning SG 4Clr	5.8	0.65

### Window schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Kitchen/Living	AL-012-04 A	n/a	2100	3600	N	No Shading
Kitchen/Living	AL-003-04 A	n/a	1800	900	E	No Shading
Kitchen/Living	AL-003-04 A	n/a	1800	900	E	No Shading
Kitchen/Living	AL-012-04 A	n/a	2100	2400	E	No Shading
Master Bedroom	AL-012-04 A	n/a	2100	2400	E	No Shading
Ens.	AL-003-04 A	n/a	1800	600	W	No Shading
Ens.	AL-003-04 A	n/a	1800	900	N	No Shading
Bedroom 4	AL-003-04 A	n/a	1200	1800	W	No Shading
Bath	AL-003-04 A	n/a	1200	1200	W	No Shading
W.C.	AL-003-04 A	n/a	1000	600	W	No Shading
Ldry	AL-003-04 A	n/a	1200	820	W	No Shading
Activity	AL-001-04 A	n/a	600	1800	W	No Shading
Bedroom 3	AL-003-04 A	n/a	1800	900	S	No Shading
Bedroom 3	AL-003-04 A	n/a	1800	900	S	No Shading
Bedroom 2	AL-003-04 A	n/a	1800	900	S	No Shading
Bedroom 2	AL-003-04 A	n/a	1800	900	S	No Shading

### Roof window and skylight type and performance value

ID	Window type	U-value	SHGC
None Present			

### Roof window and skylight schedule

Location	ID	Roof window/skylight no.	Area (m <sup>2</sup> )	Orientation	Outdoor shade	Indoor shade/diffuser
None Present						

### External wall type

ID	Wall type	Insulation	Wall wrap or foil
EW-1	Brick Veneer	Reflective foil with bulk no gap R2	Yes

### External wall schedule

Location	ID	Width (mm)	Height (mm)	Orientation	Fixed Shade	Eaves (mm)
Garage	EW-1	2700	2590	W	No	8900
Garage	EW-1	1600	2590	N	No	700
Garage	EW-1	5800	2590	E	No	800
Garage	EW-1	5800	2590	S	No	700
Kitchen/Living	EW-1	5400	2590	N	No	4600

\* Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments. For more details see [www.nathers.gov.au](http://www.nathers.gov.au)



# Nationwide House Energy Rating Scheme\* Certificate

Certificate number: 0003750999

Certificate Date:

04 Apr 2019

★ Star rating:

7.2



## Building features continued

Kitchen/Living	EW-1	8395	2590	E	No	600
Master Bedroom	EW-1	4495	2590	N	No	600
Master Bedroom	EW-1	3995	2590	E	No	6000
Ens.	EW-1	3295	2590	W	No	700
Ens.	EW-1	2495	2590	N	No	600
W.I.R.	EW-1	1390	2590	W	No	700
Bedroom 4	EW-1	3090	2590	W	No	700
Bath	EW-1	1990	2590	W	No	700
W.C.	EW-1	990	2590	W	No	700
Ldry	EW-1	1790	2590	W	No	700
Activity	EW-1	2900	2590	W	No	100
Activity	EW-1	600	2590	N	No	13200
Activity	EW-1	600	2590	S	No	4400
Bedroom 3	EW-1	3695	2590	W	No	700
Bedroom 3	EW-1	2995	2590	S	No	700
Bedroom 2	EW-1	3695	2590	E	No	8600
Bedroom 2	EW-1	3195	2590	S	No	700
Entry	EW-1	1990	2590	S	No	5100

## Internal wall type

Wall type	Area (m <sup>2</sup> )	Insulation	Wall wrap or foil
IW-1 - Cavity wall, direct fix plasterboard, single gap	192.0	No insulation	No

## Floors

Location	Construction	Area (m <sup>2</sup> )	Sub floor ventilation	Added insulation	Covering
Garage	Waffle pod slab 175 mm 100mm	33.3	None	Waffle Pod 175mm	Bare
Kitchen/Living	Waffle pod slab 175 mm 100mm	64.9	None	Waffle Pod 175mm	Ceramic Tiles 8mm
Master Bedroom	Waffle pod slab 175 mm 100mm	17.7	None	Waffle Pod 175mm	Carpet+Rubber Underlay 18mm
Ens.	Waffle pod slab 175 mm 100mm	8.0	None	Waffle Pod 175mm	Ceramic Tiles 8mm
W.I.R.	Waffle pod slab 175 mm 100mm	4.5	None	Waffle Pod 175mm	Carpet+Rubber Underlay 18mm
Bedroom 4	Waffle pod slab 175 mm 100mm	9.8	None	Waffle Pod 175mm	Carpet+Rubber Underlay 18mm
Bath	Waffle pod slab 175 mm 100mm	5.6	None	Waffle Pod 175mm	Ceramic Tiles 8mm
W.C.	Waffle pod slab 175 mm 100mm	1.6	None	Waffle Pod 175mm	Ceramic Tiles 8mm
Ldry	Waffle pod slab 175 mm 100mm	5.0	None	Waffle Pod 175mm	Ceramic Tiles 8mm
Activity	Waffle pod slab 175 mm 100mm	18.8	None	Waffle Pod 175mm	Ceramic Tiles 8mm
Hall	Waffle pod slab 175 mm 100mm	9.0	None	Waffle Pod	Ceramic Tiles

\* Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments. For more details see [www.nathers.gov.au](http://www.nathers.gov.au)



# Nationwide House Energy Rating Scheme\* Certificate

Certificate number: 0003750999

Certificate Date:

04 Apr 2019

★ Star rating:

7.2



## Building features continued

Location	Construction	Area (m <sup>2</sup> )	Insulation	Thickness (mm)	Roof space above
Bedroom 3	Waffle pod slab 175 mm 100mm	10.8	None	175mm	8mm
Bedroom 2	Waffle pod slab 175 mm 100mm	11.5	None	Waffle Pod 175mm	Carpet+Rubber Underlay 18mm
Pantry	Waffle pod slab 175 mm 100mm	3.4	None	Waffle Pod 175mm	Ceramic Tiles 8mm
Entry	Waffle pod slab 175 mm 100mm	5.1	None	Waffle Pod 175mm	Ceramic Tiles 8mm

## Ceiling type

Location	Construction	Added insulation	Roof space above
Garage	Plasterboard	Bulk Insulation R3.5	Yes
Kitchen/Living	Plasterboard	Bulk Insulation R3.5	Yes
Master Bedroom	Plasterboard	Bulk Insulation R3.5	Yes
Ens.	Plasterboard	Bulk Insulation R3.5	Yes
W.I.R.	Plasterboard	Bulk Insulation R3.5	Yes
Bedroom 4	Plasterboard	Bulk Insulation R3.5	Yes
Bath	Plasterboard	Bulk Insulation R3.5	Yes
W.C.	Plasterboard	Bulk Insulation R3.5	Yes
Ldry	Plasterboard	Bulk Insulation R3.5	Yes
Activity	Plasterboard	Bulk Insulation R3.5	Yes
Hall	Plasterboard	Bulk Insulation R3.5	Yes
Bedroom 3	Plasterboard	Bulk Insulation R3.5	Yes
Bedroom 2	Plasterboard	Bulk Insulation R3.5	Yes
Pantry	Plasterboard	Bulk Insulation R3.5	Yes
Entry	Plasterboard	Bulk Insulation R3.5	Yes

## Ceiling penetrations

Location	Number	Type	Diameter (mm)	Sealed/unsealed
Kitchen/Living	1	Exhaust Fans	300	Sealed

## Ceiling fans

\* Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments. For more details see [www.nathers.gov.au](http://www.nathers.gov.au)

# Nationwide House Energy Rating Scheme\* Certificate

Certificate number: 0003750999

Certificate Date:

04 Apr 2019

★ Star rating:

7.2



## Building features continued

Location	Number	Diameter (mm)
None Present		

## Roof type

Construction	Added insulation	Roof colour
Corrugated Iron	Foil, Gap Above, Reflective Side Down, Anti-glare Up	Dark



# Nationwide House Energy Rating Scheme\* Certificate



Certificate number: 0003750999

Certificate Date: 04 Apr 2019

★ Star rating: 7.2

## Additional information

## Explanatory notes

### About this report

Residential energy ratings address the quality of the building fabric i.e. walls, windows, floors and roof/ceilings. Ratings do not cover the energy or water efficiency of appliances including heating and cooling, hot water, dishwashers, ovens, fridges, TVs etc. or solar panel or water tank requirements. The efficiency or specification of these items is generally covered by other regulations, standards or guidelines.

### General Information

A NatHERS House Energy Rating is a comprehensive, dynamic computer modelling evaluation of the floorplans, elevations and specifications to predict an energy load of a home. Not all of us use our homes in the same way, so ratings are generated using standard assumptions. This means homes can be compared across the country.

The actual energy consumption of your home may vary significantly from the predicted energy load figures in the report depending on issues such as the size of your household and your personal preferences, e.g. in terms of heating or cooling.

While the figures are an indicative guide to energy use, they can be used as a reliable guide for comparative purposes between different house designs and for demonstrating that the design meets the required regulatory compliance.

Homes that are energy efficient use less energy, are warmer in winter, cooler in summer and cost less to run. The higher the star rating the more energy efficient.

This NatHERS House Energy Rating report was carefully prepared by your assessor on the basis of comprehensive modelling using standard procedures to rate your home using the underlying engine developed by the Australian Commonwealth Scientific and Industrial Research Organisation (CSIRO).

All information relating to energy loads presented in this report is based on a range of standard assumptions in order to allow for comparisons with reports prepared for other homes and to demonstrate minimum regulatory compliance.

The standard assumptions include figures for occupancy, indoor air temperature and are based on a unique climate file for your region.

### Accredited Assessors

To ensure you get a high-quality, professional NatHERS House Energy Rating report, you should always use an accredited assessor, accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO).

AAOs have specific quality assurance processes in place and continuing professional development requirements to maintain a high and consistent standard of assessments across the country. Non-accredited assessors do not have this level of quality assurance or any on-going training requirements.

If you have any questions or concerns about this report, please direct them to your assessor in the first instance.

If your assessor is unable to address your questions or concerns, please contact their AAO listed under 'assessor details'. You can also find a range of information about accredited assessors on the AAO websites.

### Disclaimer

The energy values quoted are for comparison purposes only; they are not a prediction of actual energy use. This rating only applies to the floor plan, construction details, orientation and climate as submitted and included in the attached drawing set that bears a stamp with the same number as this certificate. Changes to any of these details could affect the rating.

### Contact

For more information on the Nationwide House Energy Rating Scheme (NatHERS), visit [www.nathers.gov.au](http://www.nathers.gov.au)

For more information on energy efficient design and insulation visit [www.yourhome.gov.au](http://www.yourhome.gov.au)





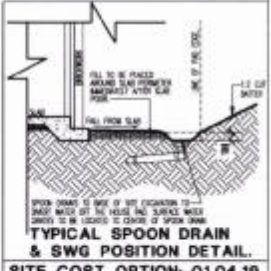
Certificate no.: 0003750999  
 Assessor Name: Conor Horwood  
 Accreditation no.: VIC/BD/AV/16/1757  
 Certificate date: 04 Apr 2019  
 Dwelling Address: 52 Currajong Street, Evans Head, NSW 2473  
 www.nathers.gov.au



= ROOF CATCHMENT AREA

**SEDIMENT FENCE**

- NOTE: - SEDIMENT FENCE TO OUTSIDE OF FILL
- NOTE: - SEDIMENT FENCE
- NOTE: - EARTHEN SPOON DRAIN
- NOTE: - USE TEMPORARY DOWNPIPES
- NOTE: - TEMPORARY FENCING
- NOTE: - SURFACE WATER GRATES TO BE LOCATED TO CENTRE OF SPOON DRAIN



SITE COST OPTION: -01.04.19

**PROPERTY DESCRIPTION**  
 LOT 6 ON DP1248978 CURRAJONG  
 SUBURB EVANS HEAD  
 LOCAL AUTH. RICHMOND VALLEY

**AREAS**  
 LAND 685.8 m²  
 SITE COVERAGE 38.58%

SITeworks	LEGEND
CUT: - 0.150	DEMOTES 100mm DIA P.V.C. STORM-WATER PIPE
FILL: - 0.100	DEMOTES 200 x 250 SURFACE WATER GRATE & READING CAN VARY DUE TO SITE CONDITIONS
PAD AHD: 7.800	
SLAB AHD: 8.125	

**CRITICAL PAD LEVEL**  
 NO  YES



NOTE: ALL BUILDING WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.  
 SURVEYOR No. - 1805481

**CORAL HOMES**  
 QBCC 50792/1014053  
 OFT 62084C

CLIENTS  
 T. & J. KELLY  
 LOT 6 CURRAJONG STREET  
 EVANS HEAD NSW 2473

CHECKED ??? TENDER LETTER 19-MAR-19

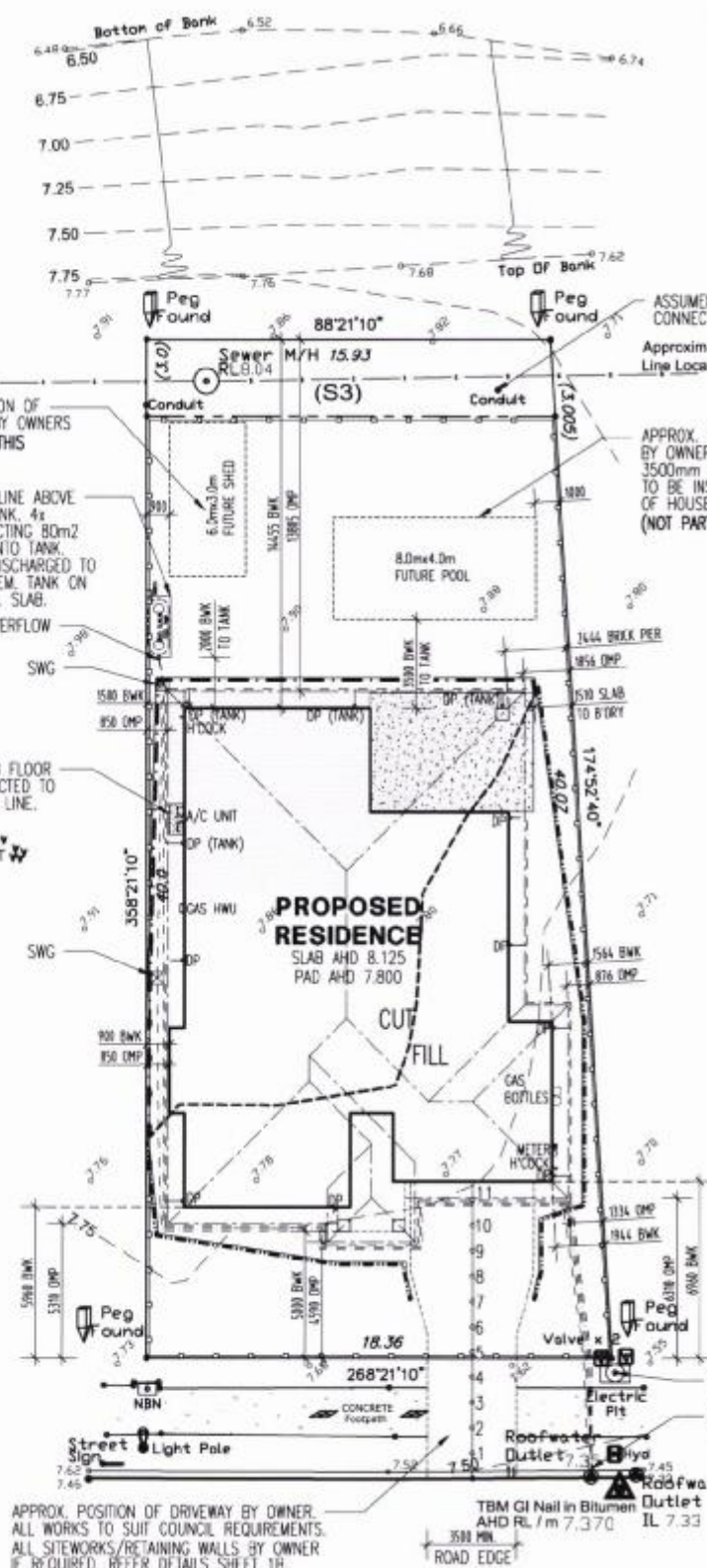
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SCALE: 1:200 DATE: 11-01-2019-19  
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 NATIONAL SHEET 1A OF 3

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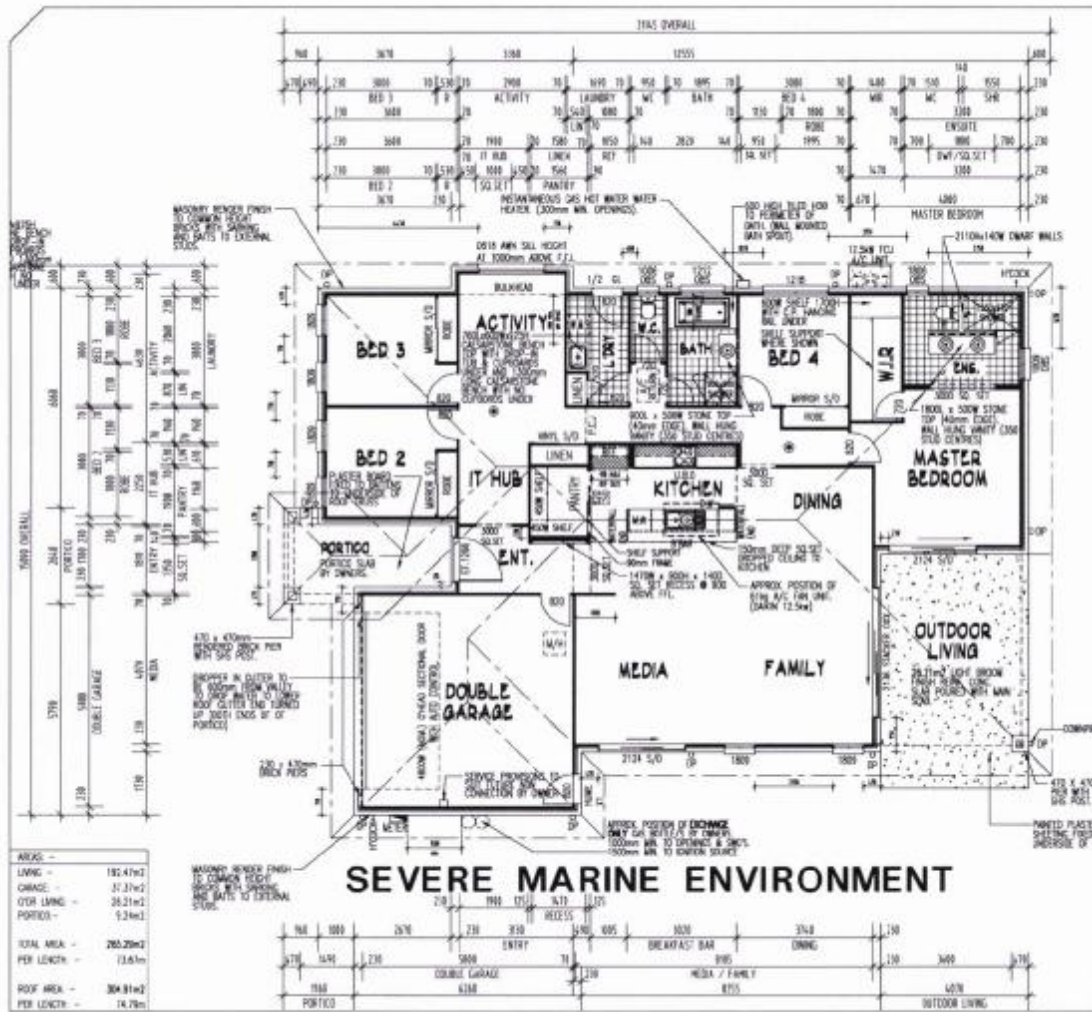
**PRELIMINARY TENDER PLAN.**

THESE PLANS ARE PRELIMINARY ONLY AND DO NOT FORM PART OF THE CONTRACT.



Currajong Street

**SITE PLAN**



Certificate No: 0002792699  
 Assessor Name: Connor Harwood  
 Accreditation No: VIC/BOAW161757  
 Certificate Issue Date: 04 Apr 2019

52 Currajong Street  
 Evans Head, NSW  
 2473

www.nationwide.gov.au



**ELEVATIONS**



**NOTES**

1. ALL INTERIOR DIMENSIONS WILL HAVE PRECEDENCE OVER EXTERIOR DIMENSIONS UNLESS SPECIFICALLY NOTED OTHERWISE.

2. ALL DIMENSIONS TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.

3. ALL DIMENSIONS TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.

4. ALL DIMENSIONS TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.

5. ALL DIMENSIONS TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.

**STEEL FRAME AND TRUSSES.**

1. ALL DIMENSIONS TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.

2. ALL DIMENSIONS TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.

3. ALL DIMENSIONS TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE.

**CORAL HOMES**

ORCC 80762/014093  
 OFT 82084C

**SEVERE MARINE ENVIRONMENT**

**PRELIMINARY TENDER PLAN.**

THESE PLANS ARE PRELIMINARY ONLY AND DO NOT FORM PART OF THE CONTRACT.

CLIENT: F. & J. KELLY  
 1/17 A CURRAJONG STREET  
 EVANS HEAD NSW 2473

DEVELOPER: 777 TENDER LETTER  
 19-MAR-19

DESIGNER: FLOOR PLAN LAYOUT J28547

DATE: 13/06/2018

SCALE: 1:100

PROJECT: CURRAJONG

NO. OF SHEETS: 2 OF 3

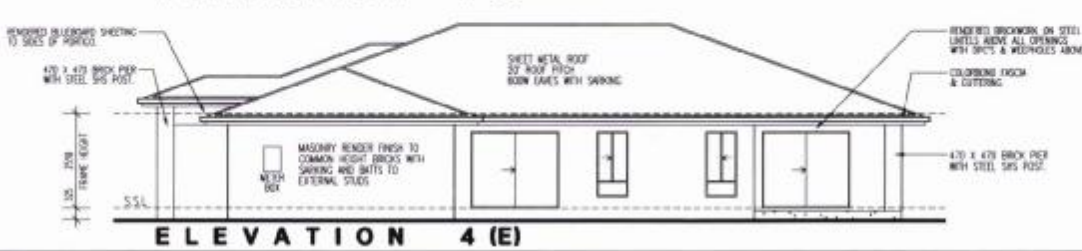
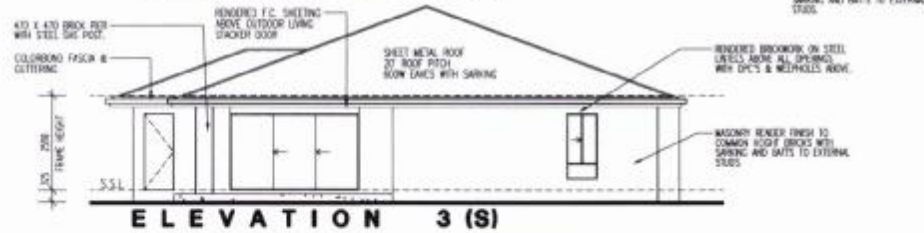
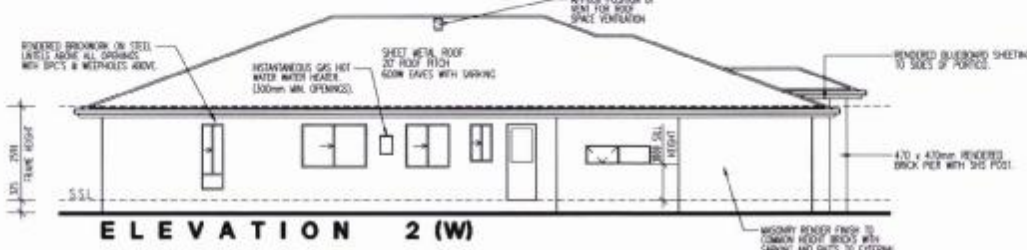
BY: THE ARCHITECT GROUP



**SEVERE ENVIRC**



Certificate no. 0002750999  
 Assessor Name: Conor Horwood  
 Accreditation no. VIC/BDAV16/1757  
 Certificate date: 04 Apr 2019  
 Dwellling Address: 52 Cuningjng Street, Evans Head, NSW 2473  
 www.nwh.com.au



CUTTING TO SUIT 30m2 PER DOWNPIPE ROOF AREA

PLASTIC BRICK TIE TO MEET BCA REQUIREMENTS FOR HOMES CONSTRUCTED WITHIN BALCON ENVIRONMENT, NOT DIPPED GALVANIZING TO ANY EXPOSED STEEL POSTS.

**IMPORTANT NOTICE:**  
 ALL WINDOWS TO FLOOR LEVELS WHICH ARE 2m OR MORE ABOVE THE SURFACE BENEATH MUST HAVE A BARRIER AT A HEIGHT NO LESS THAN 900mm AND THE OPENING PANEL ABOVE BE RESTRICTED TO A MINIMUM OF 125mm OR HAVE A BARRIER WHICH CAN RESIST A MINIMUM OF 25kN OF DOWNING HORIZONTAL ACTION.

**IMPORTANT NOTICE:**  
 THERE ARE NO APPROX. DESIGN FEATURES IN THIS CONSTRUCTION THAT PRESENT UNUSUAL WORKPLACE, HEALTH & SAFETY ISSUES IN THE CONSTRUCTION, MAINTENANCE, USE OR DEMOLITION OF THIS STRUCTURE.

**PRELIMINARY TENDER PLAN.**

**CORAL HOMES**

ORCC 90762/1014083 OPT 82084C

CLIENTS: F. & J. KELLY  
 107 B CUNINGJNG STREET  
 EVANS HEAD NSW 2473

DRAWN: 777  
 CHECKED: 19-MAR-19  
 REFERENCE NO. J29547

SCALE: 1:100  
 SHEET NO. 05-04-29-01  
 SHEET 3 OF 3

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# AINSWORTH HERITAGE



## Statement of Heritage Impact – Volume 2

Residential Lot 6

Currajong Street, Evans Head NSW

May 2019

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**Rights to Use this Report**

Ainsworth Heritage grants the client for this project (L J Hooker Evans Head) the right to use material from this report only in relation to the residential development of the allotments that this report relates to. This report may not be used in support of any further applications without express written consent of Ainsworth Heritage.

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## Volume 2

### Chapter 1 Introduction

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#### 1.1 Preamble

This Statement of Heritage Impact (SOHI) was commissioned by LJ Hooker Evans Head on behalf of a group of residential landowners to investigate the potential impact of their proposed 15 residential dwellings upon the heritage significance of Evans Head Memorial Aerodrome. The SOHI forms the supporting documentation for a Section 60 permit application by LJ Hooker for the subdivision.

The 15 residential lots are located along Currajong Street within the southernmost area of the heritage listed aerodrome. This area is not an operational part of the aerodrome however it is within the curtilage defined for the site's listing on the NSW State Heritage Register. Under Section 60 of the *NSW Heritage Act (1977)*, an application to the Heritage Council is required for approval of various works to items listed on the NSW State Heritage Register.

Richmond Valley Council, the aerodrome owner, has sold the non-operational southern portion of the aerodrome – the bulk of this portion has been sold for a retirement village development, with 20 residential along Currajong Street sold as individual residential lots.

This SOHI has been prepared to accompany a Section 60 application for the construction of residential houses on 15 of those residential lots (Lots 2, 3, 4, 5, 6, 8, 10, 11, 12, 13, 14, 17, 18, 19 and 20.).

The SOHI is prepared in two volumes as follows:

- Volume 1: Covers chapter 1-5 and is common to development on all the allotments outlined above
- Volume 2: Is specific to the proposed development and potential impact of said development to the lot in question.

This volume presents an assessment of the proposed impact of the residential development of Lot 6.

#### 1.2 Site Location and Curtilage

Lot 133 Currajong Street is located on northern side of Currajong Street at Evans Head on the far north coast of NSW.

It is located within the southernmost part of Evans Head Memorial Aerodrome, which comprises approximately 190 hectares. The allotment comprises an extremely small portion of the southernmost portion of the aerodrome. The following Figures (1.1 - 1.3) illustrates the curtilage of the heritage listed aerodrome, the area of residential allotments and of allotment 13.



Figure 1.1: Area of residential allotments (shaded blue) within the aerodrome (curtilage indicated by



the red line). The area shaded yellow is the non-operational area of the aerodrome. It has been sold by Richmond Valley Council and the subdivision for residential housing was approved in 2018.

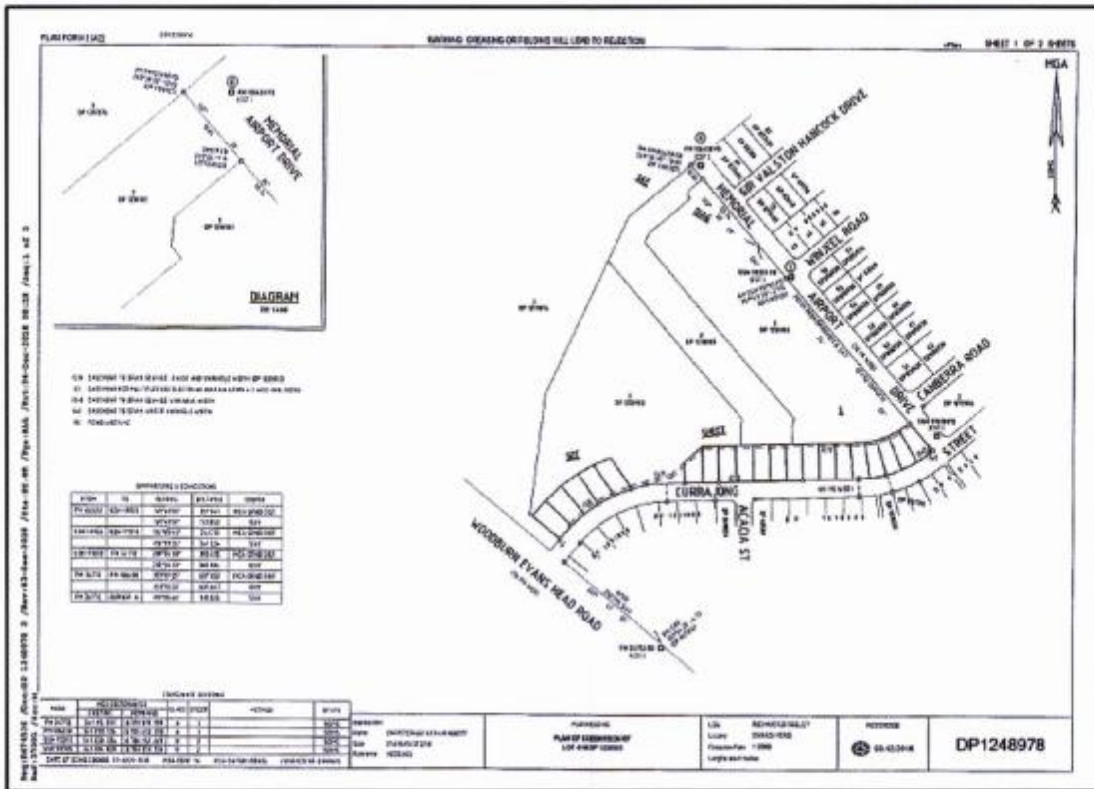


Figure 1.2: Overall allotment plan in relation to Currajong Street (plan supplied by LJ Hooker Evans Head).

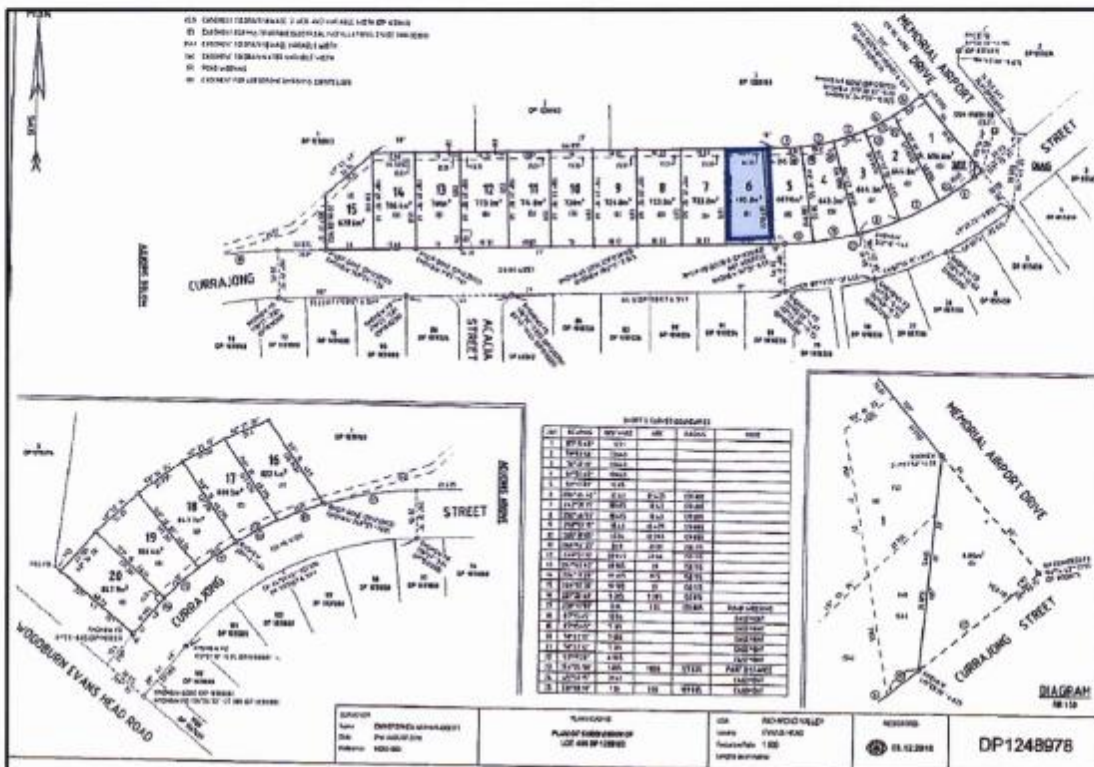


Figure 1.4: Lot plan. The lots covered by this SOHI are shaded blue (plan supplied by LJ Hooker Evans Head.)



## Volume 2

### Chapter 2 Proposed Development

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#### 2.1 Preamble

This section outlines the scope of the proposed development at Lot 6, Currajong Street Evans Head. It also discusses the purpose and need of the works.

#### 2.2 General Description of Works

Development consent is sought to construct residential houses and associated landscaping for Lot 6, Currajong Street, Evans Head NSW.

The residential subdivision for this lot was approved in 2018 – consent is now sought for construction of the residential dwelling.

Broadly, the proposed development comprises a single storey, rendered brick dwelling with a 20% pitched colourbond roof in dark gray.

The proposed development also includes a pool, backyard shed and light landscaping to the rear and a pebble driveway, freestanding postbox and light landscaping to the street frontage. .

The boundary fence to the rear boundary will be constructed in accordance with Richmond Valley Council requirements, which is a 1.2m colourbond fence in Jasper. The side fences will be colourbond Woodland Grey.

#### 2.3 Response of the Design to Surrounding Area

The designs of the residential lots represent typical suburban style and finishes similar to those in the residential area directly opposite the site, which comprises modern and modest suburban houses predominately single storied brick with either colourbond or tile roofs.

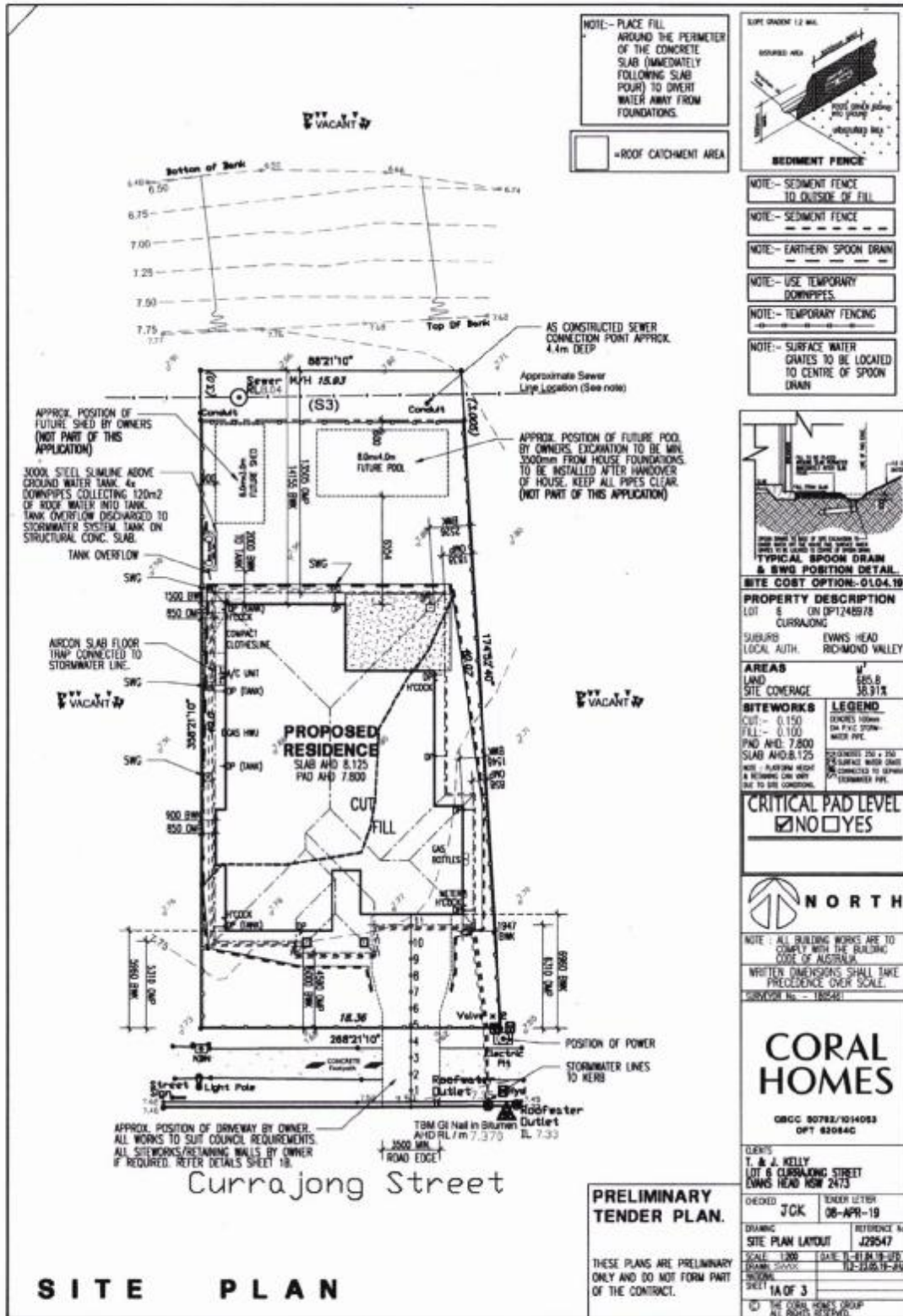
The operational area of the aerodrome is buffered visually and physically by a large area of non-operational land between the approved residential subdivision and the operational aerodrome. The heritage elements of the aerodrome (such as the runway system, bellman hangar and former canteen building) are not visible from the subject site – this is due to the large distance between them and the location of the Richmond Valley Council Works Depot which is located between the residential area and the heritage area.

## 2.4 Additional Acoustic Treatments

The proposed development is located outside of the 20 ANEF Contour for the Aerodrome, which means that, in accordance with the Australian Standard (AS 2021-2000: Acoustics - Aircraft noise intrusion - Building siting and construction), ***no additional noise control treatments to the buildings are required.***

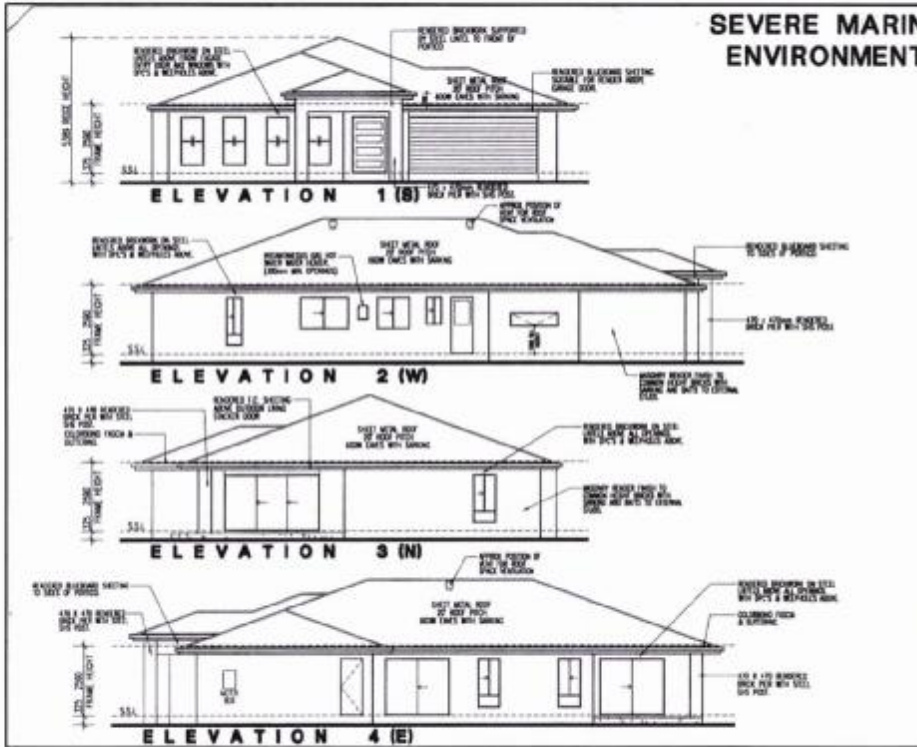
Notwithstanding, a legal covenant has been placed on the subdivision of these blocks which requires Richmond Valley Council to issue a Construction Certificate to ensure that this dwelling has:

- Acoustic wall (exterior walls only) and ceiling treatment; and
- Airtight door (external doors only) and window seals.





# SEVERE MARINE ENVIRONMENT



**LIBBON 27 ELLIOTT PORTHOUSES**

**NOTES**

ROOF PITCHED AT 12:12 WITH  
ROOF BRICK LINED UNLESS  
NOTED OTHERWISE.

R.C.L. = FINISH, GROUND LINE  
A.L.L. = INFILTRATION JOINT  
S.L.L. = STRUCTURE SURFACE LINE  
L.T.S.L. = FINISHING SURFACE LINE

CLADDING TO BE SET BACK PER  
CORROSION RESISTANCE

**IMPORTANT NOTICE**  
PLEASE NOTE THAT THIS PLAN  
IS A PRELIMINARY PLAN AND IS NOT  
TO BE USED FOR CONSTRUCTION  
OR FOR ANY OTHER PURPOSE.

**IMPORTANT NOTICE**  
ALL WORKS TO BE DONE WHICH  
ARE TO BE DONE UNDER THE SURFACE  
SHOULD BE DONE IN ACCORDANCE  
WITH THE RELEVANT ACTS AND  
REGULATIONS AND THE  
CONTRACT DOCUMENTS AND BE  
DONE TO THE SATISFACTION OF  
THE ENGINEER AND THE  
OWNER.

**IMPORTANT NOTICE**  
THESE ARE PRELIMINARY PLANS  
AND DO NOT FORM PART  
OF THE CONTRACT.

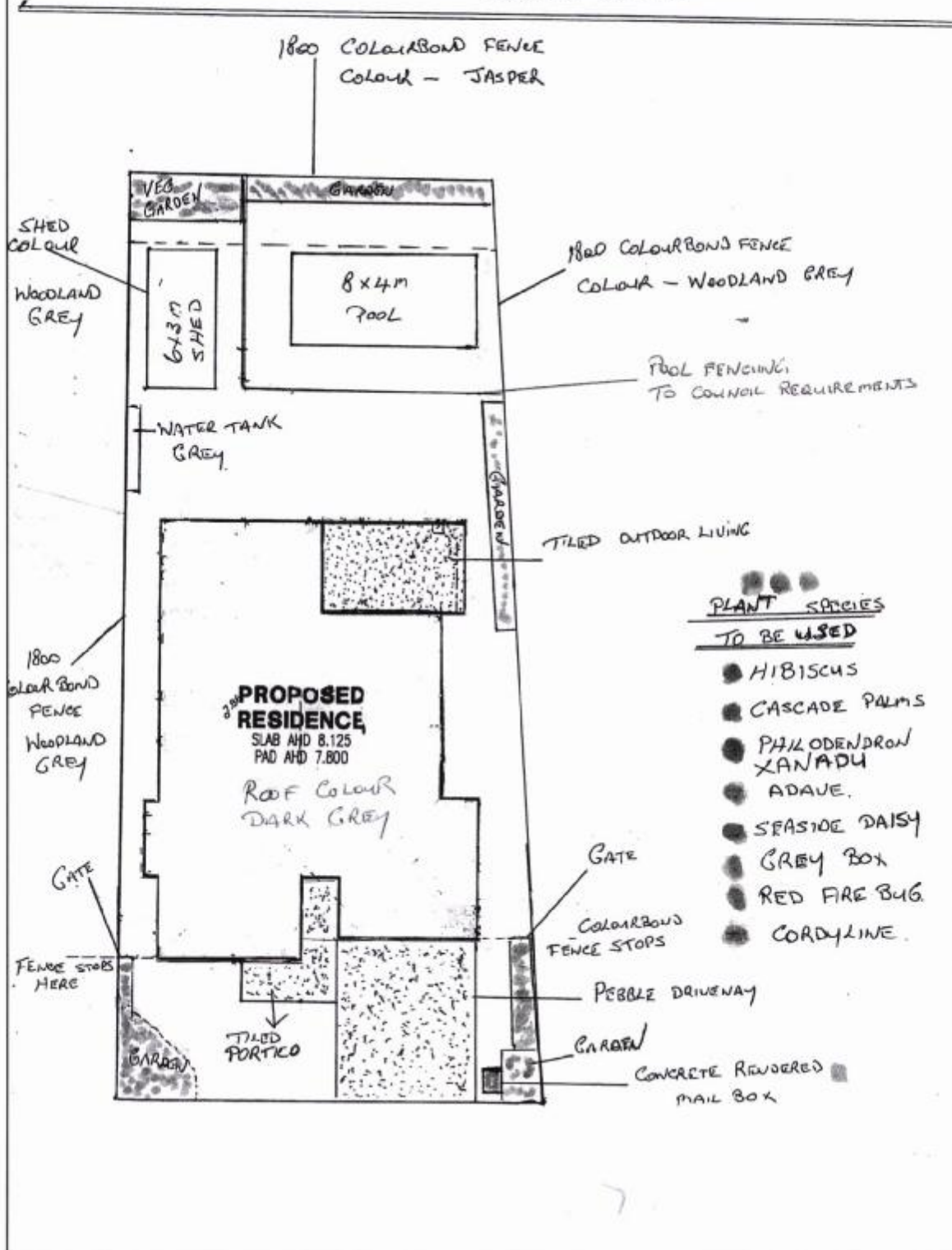
**PRELIMINARY TENDER PLAN.**

**CORAL HOMES**


GOOD AFTERNOON  
BY LIBBON

DATE: 12/12/18  
DRAWN: JCK  
CHECKED: JCK  
SCALE: AS SHOWN  
SHEET: 3 OF 3

T J KELLY  
 52 CURRASONG ST  
 EVANS HEAD




T + J. Kelly  
52 CURRINGTON ST  
EMMAS HEAD




**Steelline Rooflin Spot Llameros**  
 ABB: 18 000 857 877 Phone: 0800 00 00 00  
 P.O. Box: 11 000 000 Fax: 0800 00 00 00  
 Email: info@steelline.co.nz Web: www.steelline.co.nz  
 100% NZ Made


**Quotation**  
 No: 202007  
 Date: 18/04/2019  
 Valid: 30 Days




1.5m  
FRONT VIEW  
Skylit



1.5m  
SIDE VIEW  
Skylit



1.5m  
FRONT VIEW  
Flat

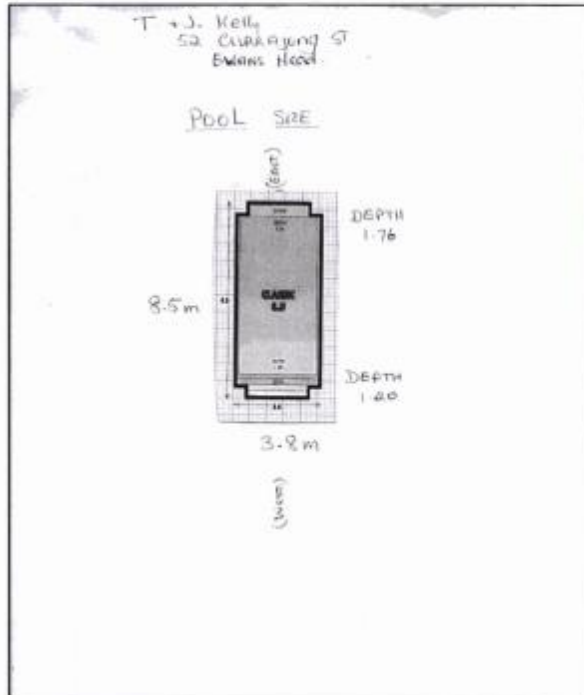


PLAN VIEW

RENDERING WITH  
WEST

SIDE Color  
WOODEN GRAY

Page 1 of 1





### 3 Impact Assessment

This section of the report assesses the impact of the construction of the residences on the approved subdivided lots at Currajong Street.

#### 3.1 Assessment of Impact against State Heritage Significance

Aspect of Significance	NSW Heritage Register citation	Potential Impact of Works on Significance
Historic	<p>The item is historically significant because of its role as No 1 Bombing and Gunnery School (BAGS) for the Empire Air Training Scheme (EATS) which was an enormous Commonwealth undertaking to train air crew and personnel to assist the allies in World War II.</p> <p>It was also the home to over 5000 RAAF personnel who trained there during WW II for active service in Australia and overseas. More than a 1000 of these lost their lives during training and in active service overseas.</p>	<p>The elements of historical significance within the aerodrome are located more than 500m away from Lot 6 and due to this distance, are not within its sightlines.</p> <p>The areas of the aerodrome with historic elements have good interpretation and the proposed development does not impact the interpretation of the historic function of the aerodrome.</p> <p>The aerodrome originally comprised more than 300 buildings to house its operational functions – including more than 50 timber gabled accommodation huts – the new residences continue the function of housing at the aerodrome.</p> <p><b>Assessed Impact: No impact on historic heritage significance</b></p>
Associative	<p>The item is historically significant because of its association with Sir Valston Hancock and was the site of 17 Bellman Hangars (only one remains in its original location). The hangars were designed and built under the guidance of Sir Valston Hancock, Director of Works for the RAAF at the time. He subsequently became its commanding officer.</p>	<p>The elements of historical significance within the aerodrome are located more than 500m away from Lot 6 and due to this distance, are not within its sightlines.</p> <p>The areas of the aerodrome with historic elements have good interpretation and the proposed development does not impact the interpretation of the historic function of the aerodrome. The site's relationship with Sir Valston Hancock is well documented in several books,</p>

Aspect of Significance	NSW Heritage Register citation	Potential Impact of Works on Significance
	<p>The item also has associations with the USAAF whose personnel trained and served with Australian RAAF personnel. A number of B-25 bombers landed or crash-landed near Evans Head.</p>	<p>websites and onsite interpretation.</p> <p>The aerodrome's relationship with ex-RAAF personnel is continued with onsite interpretation, use of the aerodrome for commemorative activities and the retention of the runway layout and Bellman Hangar.</p> <p>The intangible significance of these associations will not be impacted by the proposed development</p> <p><b>Assessed Impact: No impact on associative heritage significance</b></p>
Social	<p>The item is socially significant because the aerodrome is of great importance to surviving Australian RAAF personnel that served at Evans Head and is a legacy to their families and to the personnel of other countries who were trained or based at Evans Head, including those from the UK, Holland, the USA and Canada.</p> <p>The aerodrome is a significant landmark from WWII and has strong connections to the people of Evans Head, to the people of the north coast region, and to the other major surviving aerodromes and associates sites in NSW.</p> <p>The associated sites and structures in Evans Head (refer to "Further Comments") are some of the more significant remaining landmarks from that era which visitors seek out during their visits to Evans Head and which are examples of the main features of buildings and sites that characterised the RAAF Base at the time.</p>	<p>The proposed dwelling in the approved subdivision is located in a fenced off area of the aerodrome, well away from operational areas of the aerodrome. Additionally, the use of land title covenants will ensure that the aerodrome will continue to be used by light aircraft – a larger aspect of its social significance.</p> <p>The historic elements of the aerodrome are located more than 500 metres from the proposed residential dwelling and will not impact on social activities held at the aerodrome.</p> <p>Whilst there has been some concern within the town about further subdivision and development of the southern portion of the aerodrome, those concerns have been addressed via land covenants on the title deeds, additional acoustic requirements for the dwellings, and the need for joint consent approval from both local government and the state.</p> <p>The intangible value of the aerodrome's social significance will not be impacted by the proposed development</p> <p><b>Assessed Impact: Low impact on social heritage significance</b></p>

Aspect of Significance	NSW Heritage Register citation	Potential Impact of Works on Significance
	<p>The presence of the RAAF during and after wartime largely contributed to the growth of the town with many of the personnel staying on within the village after the RAAF disbanded the bombing and gunnery school. The association of the aerodrome and the town form an important part of the village's cultural identity. (refer to The Evans Head Village Strategy Draft 2000).</p>	
Aesthetic	<p>The item is aesthetically significant because of the landmark qualities. Its sheer size gives it a powerful sense of place and its proximity to the Evans Head village and the coastline emphasise its strategic location and the scope of the RAAF Base during the war. It is one of the few remaining large coastal sites which retains some sense of war operations.</p> <p>The aerodrome was constructed with four runways that intersect each other. This was to accommodate aircraft landing at the site regardless of wind or weather conditions. A design using three runways or more has only been applied to the larger aerodromes such as those based in Sydney, Coffs Harbour, Dubbo, Moruya, Nambucca, Temora and Tocumwal.</p> <p>The design of the Bellman Hangar was the Australian industry solution to the steel shortage during WWII. Steel was an essential source primarily used for the production of armaments and munitions and although used in buildings, it was preferred for larger structures.</p>	<p>The landmark qualities of the aerodrome will be retained – the majority of the 190 <u>hectare</u> aerodrome will not be impacted by the proposed allotment of 760m<sup>2</sup>. The aerodrome's large sense of open space, distinctive runway system and size will be retained.</p> <p>The Bellman Hangar will not be impacted by this development and, being located more than 500m away, will not be visible from the proposed dwelling.</p> <p>The aerodrome during the war contained 300 buildings, including nearly 100 hundred accommodation and office huts, all with a gabled roof. The re-introduction of houses with gabled roofs, in unobtrusive colours, reflects the wartime aesthetics of the site.</p> <p><b>Assessed Impact: Low impact on aesthetic heritage significance</b></p>



Aspect of Significance	NSW Heritage Register citation	Potential Impact of Works on Significance
	As a result, the Bellman Hangar was produced and is an example of the earliest prefabrication techniques for the construction of hangars for wartime operations. (Refer Brew, 2001).	
Scientific	<p>The item is technically and research significant because of the technical innovations and the role of the RAAF Base both of which made important contributions to Australia's effort in the WWII.</p> <p>The prefabricated Bellman Hangar and various accommodation buildings represent significant technical innovation and adaptation for that period. While there are other modified Bellman hangars in Australia, the only remaining hangar at Evans Head Aerodrome was one of the first to be built in Australia. The other structures include the Scout Hall and Tuck Shop which are good examples of the design and are in good condition, although they have been relocated.</p> <p>The role of the RAAF Base, the aerodrome, its history and its structures is a potential subject for High School Students. The Evans Head Memorial Aerodrome Committee and the Evans Head Community School are currently discussing the potential for such a program.</p>	<p>The subject site retains very little scientific potential due to the site remediation works, which removed 100-200ml of topsoil across the site and obliterated any archaeological remnants.</p> <p>The Bellman Hangar and other surviving war buildings are located more than 500m from Lot 6 and the ability to study these items will not be impacted by this proposed dwelling.</p> <p>The aerodrome has been extensively studied and its history documented in books, museum exhibits, websites and heritage reports – the proposed development of Lot 6 will not impact on these works or on the ability to interpret the site by visitors such as high school students.</p> <p>Areas of the aerodrome which retain archaeological potential are not located in or near the proposed residential development.</p> <p><b>Assessed Impact: Low impact on scientific heritage significance</b></p>
Rarity	The item is rare in relation to its unique role as the primary bombing and gunnery school under the EATS. This has been identified in a thematic study conducted which surveyed the World War II aerodromes and associated sites in NSW (refer	<p>The proposed development represents an extremely tiny proportion of the site and will affect the aerodrome's status as one of the largest WWII aerodromes.</p> <p>The aerodrome was one of 36 EATS aerodromes established in Australia</p>

Aspect of Significance	NSW Heritage Register citation	Potential Impact of Works on Significance
	<p>Brew, 2001).</p> <p>Its future protection and management is essential in terms of it being one of the largest WWII aerodrome sites in the State and its significance in the history of defence in Australia.</p>	<p>during WWII and one of three specifically established as a BAGS. Many of these sites remain across Australia, several of them still operational.</p> <p>The proposed development will not impact the retention of the aerodrome, the retention of historical features or its use as an aerodrome and therefore will not impact any perceived rarity associated with the site.</p> <p><b>Assessed Impact: No impact on rarity</b></p>
Representativeness	<p>The item represents an important class of WWII aerodromes in NSW because of its size, strategic location and its pivotal role in the training of RAAF personnel for the war effort.</p>	<p>The aerodrome remains a representative type of a World War II RAAF training base. The aerodrome's size, strategic location and pivotal role remain unaltered by the extremely small and unobtrusive size of the proposed development.</p> <p><b>Assessed Impact: Low impact on representativeness</b></p>



**Figure 3.1:** Aerial image of Evans Head aerodrome showing main historical areas/features (red arrows) in relation to subject site (blue box). Image courtesy of Google Earth.



### 3.2 Assessment of Impact against Richmond Valley Council Development Control Plan

The Richmond Valley Council Development Control Plan (2015) Part I-1: Environmental Heritage: sets out Council's requirements for development on or in the vicinity of heritage items.

As Evans Head Aerodrome is listed on the Heritage Schedule of Council's Local Environmental Plan, the proposed development needs to ensure it meets the requirements of the DCP.

Specifically, the DCP requires the following:

- *Development consent is required to erect a building on land containing a heritage building*

**Response:** This SOHI has been prepared to accompany an IDA for the approval of Richmond Valley Council and the NSW Heritage Branch.

- *Residential fences around heritage items or in conservation areas require development approval*

**Response:** Richmond Valley Council will require all fences in the new Currajong Street suburban development to have a "communal" rear boundary fence – this is to ensure that visual impact of the residential development from the aerodrome is minimised by a common height, material and colour rear fence across all properties.

- *Materials, finish and colours should be compatible and complementary to the original but do not need to match exactly.*

**Response:** The proposed development of Lot 6 has a complimentary approach with a gabled and pitched form of the roof reflects the pitch form of the former military huts that formerly covered the site. The proposed form and mass are similar to the adjoining residential area

- *Development in the vicinity of heritage item should be designed and sited to protect the sites significance.*

**Response:** The new development reflects the former accommodation of the site, which once included more than 300 military, hatted buildings. It has been kept within an inoperative area of the site and has land covenants to protect its continued use as an aerodrome. The building's colour schemes reflect the wartime austerity and the small portion of the site affected by the development has been minimised. In addition, acoustic controls and maximum vegetation heights (6m) will be implemented to ensure the proposed development does not impeded light aircraft use of the aerodrome. The use for the site for commemorative functions and historical interpretation remains unaltered.

### 3.3 Conclusion

The residential subdivision of the subject has already been approved as appropriate development for these land parcels. This Section 60 represents the subsequent stage of design for the residential lot in question. The lot represents standard suburban styles and finishes seen across the village of Evans Head thus they visually fit in with the adjacent residential area.

Despite the Australian Standard relating to Acoustics requiring no specific noise abatement treatments (as the site is outside the Aerodrome's 20 ANEF contour), the lots have covenants on their titles requiring additional acoustic treatments that the building's must comply with to gain their construction certificates. These noise strategies will ensure that the development actively facilitates the ongoing aviation function of the aerodrome and thus contributes to the long-term conservation of the site's primary significance.

The new development reflects the former accommodation of the site, which once included more than 300 military, hutted buildings. It has been kept within an inoperative area of the site and has land covenants to protect its continued use as an aerodrome. The building's colour schemes reflect the wartime austerity and the small portion of the site affected by the development has been minimised. The use for the site for commemorative functions and historical interpretation remains unaltered.

Provided that the proposed layout, form, finish and noise management measures of the design are implemented, this Statement of Heritage Impact concludes that:

- The proposed development is appropriate to the site's heritage significance and responds to the site's values through its design;
- The proposed development has been planned within the framework of, and in accordance with, the site's Plan of Management; and
- The proposed development facilitates continued aviation use of the aerodrome and can co-exist in a mutually non-exclusive relationship with the active aerodrome.

## 4 Recommendations and Management

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This section outlines management policies that will ensure that minimal possible impact occurs to Evans Head Memorial Aerodrome throughout the project

As the subdivision has already been approved and the proposed residential development will have low- impact on the site's heritage significance, this report makes only one recommendation that should form part of the consent conditions:

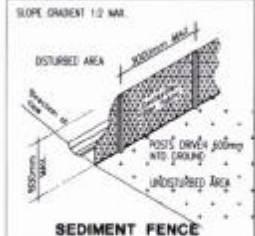
Richmond Valley Council must, before issuing construction certificates for each dwelling, ensure that it has been constructed in accordance with the land title covenants. Specifically, each dwelling must include:

- Acoustic wall (exterior walls only) and ceiling treatment;
- Rear boundary fence as specified by Richmond Valley Council;
- Airtight door (external doors only) and window seals;
- Rear boundary fence to be a consistent colour across all allotments in Jasper colourbond;
- Vegetation to not exceed 6m in height; and
- Exterior colours to be neutral, muted tones to reflect wartime colours.

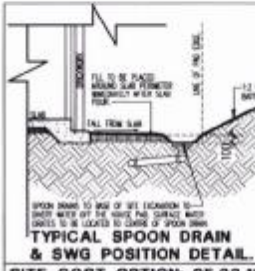


VACANT

NOTE:- PLACE FILL AROUND THE PERIMETER OF THE CONCRETE SLAB (IMMEDIATELY FOLLOWING SLAB POUR) TO DIVERT WATER AWAY FROM FOUNDATIONS.



- NOTE:- SEDIMENT FENCE TO OUTSIDE OF FILL
- NOTE:- SEDIMENT FENCE
- NOTE:- EARTHEN SPOON DRAIN
- NOTE:- USE TEMPORARY DOWNPIPES
- NOTE:- TEMPORARY FENCING
- NOTE:- SURFACE WATER GRATES TO BE LOCATED TO CENTRE OF SPOON DRAIN



SITE COST OPTION:- 05.02.19

PROPERTY DESCRIPTION  
 LOT 6 ON DP1248978  
 CURRAJONG  
 SUBURB EVANS HEAD NSW  
 LOCAL AUTH. RICHMOND VALLEY

AREAS  
 LAND 685.8 M<sup>2</sup>  
 SITE COVERAGE 38.91%

SITWORKS  
 CUT:- 0.150  
 FILL:- 0.100  
 PAD AHD: 7.800  
 SLAB AHD: 8.125  
 NOTE - PLATFORM HEIGHT & RETAINING CAN VARY DUE TO SITE CONDITIONS.

LEGEND  
 DENSITIES 100mm DIA P.V.C. STORM-WATER PIPE  
 250 x 250 CS SURFACE WATER GRATE CONNECTED TO SEPARATE STORMWATER PIPE.

CRITICAL PAD LEVEL  
 NO  YES



NOTE : ALL BUILDING WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

SURVEYOR No. - 1892461

**CORAL HOMES**  
 OBCC 50792/1014053  
 OFT 62084C

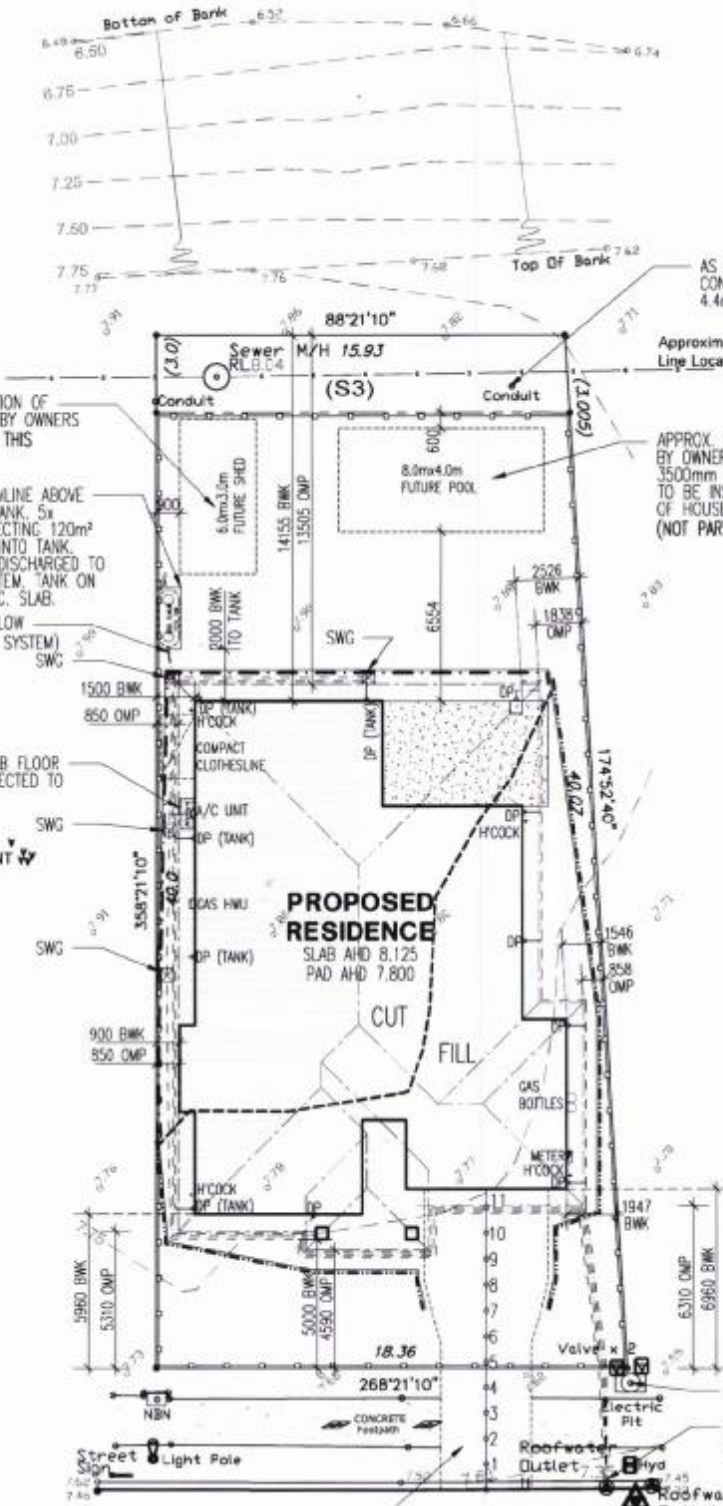
CLIENTS  
 T. & J. KELLY  
 LOT 6 CURRAJONG STREET  
 EVANS HEAD NSW 2473

CHECKED NLU TENDER LETTER 08-APR-19

DRAWING SITE PLAN LAYOUT REFERENCE No. J29547

SCALE: 1:200 DATE: 11-01-19-IFD  
 DRAWN: MAXX DATE: 11-23-19-JHU  
 NATIONAL CP-05.06.19-MGR

SHEET 1A OF 8  
 THE CORAL HOMES GROUP ALL RIGHTS RESERVED



APPROX. POSITION OF DRIVEWAY BY OWNER. ALL WORKS TO SUIT COUNCIL REQUIREMENTS. ALL SITWORKS/RETAINING WALLS BY OWNER IF REQUIRED. REFER DETAILS SHEET 1B.

FINAL SIGNED COPY  
 I/VE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT SUPERSEDE PRELIM PLANS & I/VE HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN.  
 THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.

PROPRIETOR SIGNATURE: [Signature]  
 BUILDERS SIGNATURE: [Signature]

**S I T E P L A N**

**SEVERE MARINE ENVIRONMENT**

BASIC INFORMATION (CHECKED BY PROGRAMMER)	
PROJECT NAME	LISSIBON 27 CORAL HOMES (SEE DRAWING)
CLIENT NAME	LISSIBON 27 CORAL HOMES
DATE	2019-04-19
PROJECT NO.	2019-04-19
PROJECT LOCATION	LISSIBON 27 CORAL HOMES
PROJECT TYPE	RESIDENTIAL
PROJECT STATUS	FOR PERMITTING
PROJECT PHASE	FOR PERMITTING
PROJECT DESCRIPTION	LISSIBON 27 CORAL HOMES
PROJECT OWNER	LISSIBON 27 CORAL HOMES
PROJECT ARCHITECT	LISSIBON 27 CORAL HOMES
PROJECT ENGINEER	LISSIBON 27 CORAL HOMES
PROJECT CONTRACTOR	LISSIBON 27 CORAL HOMES
PROJECT SUBMITTER	LISSIBON 27 CORAL HOMES
PROJECT REVIEWER	LISSIBON 27 CORAL HOMES
PROJECT CHECKER	LISSIBON 27 CORAL HOMES
PROJECT APPROVER	LISSIBON 27 CORAL HOMES
PROJECT SIGNATURE	LISSIBON 27 CORAL HOMES
PROJECT DATE	LISSIBON 27 CORAL HOMES
PROJECT SCALE	LISSIBON 27 CORAL HOMES
PROJECT SHEET NO.	LISSIBON 27 CORAL HOMES
PROJECT SHEET TOTAL	LISSIBON 27 CORAL HOMES

**LISSIBON 27 ELLIOTT PORTICO**

**NOTES**

ROOF PITCHED AT 20° WITH 600W WIDE EAVES UNLESS NOTED OTHERWISE.

N.G.L. = NATURAL GROUND LINE

A.J. = ARTICULATION JOINT

S.S.L. = STRUCTURAL SURFACE LEVEL

LYSAGHT TRIMLINE SLOTTED GUTTERING TO SUIT 30%2 PER DOWNPIPE ROOF AREA

**PLASTIC BRICK TIE TO SUIT BCA REQUIREMENTS FOR HOMES CONSTRUCTED WITHIN SALINE ENVIRONMENT. MUST SUPPLY GALVANISING TO ANY EXPOSED STEEL POSTS.**

**IMPORTANT NOTICE:**  
ALL WINDOWS TO FLOOR LEVELS WHICH ARE 2m OR MORE ABOVE THE SURFACE BENEATH MUST HAVE A BARRIER AT A HEIGHT NO LESS THAN 900mm AND THE OPENING PANEL ABOVE BE RESTRICTED TO A MAXIMUM OF 0.25m<sup>2</sup> OR HAVE A BARRIER WHICH CAN RESIST A MINIMUM OF 200N OF DOWNWARD HORIZONTAL ACTION.

**IMPORTANT NOTICE:**  
THIS IS AN AS-BUILT DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE CONSTRUCTION AND FINISHES ARE AS SHOWN ON THIS DRAWING. ANY DEVIATIONS FROM THIS DRAWING WILL BE AT THE CONTRACTOR'S RISK.

**FINAL SIGNED COPY**  
I AM ACCEPTING THAT THESE PLANS ARE THE FINAL WORKING DRAWING FOR THE CONSTRUCTION OF THIS STRUCTURE. I HAVE REVIEWED THE DRAWINGS AND I AM SURE THAT THEY ARE CORRECT AND COMPLETE FOR THE CONSTRUCTION OF THIS STRUCTURE.

**APPROVED FOR CONSTRUCTION**  
DATE: 19/04/2019  
SIGNATURE: [Signature]

**CORAL HOMES**

QBCC 80792/1014083  
OPT 82004C

CLIENTS  
T. & J. KELLY  
LOT 6 CARRINGTON STREET  
ELWANG HILL NSW 2813

DESIGNER  
NLU  
PROJECT LETTER  
CB-APR-19

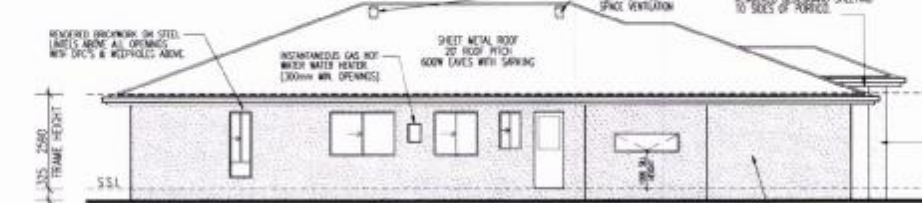
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DATE: 19/04/2019

3 OF 8

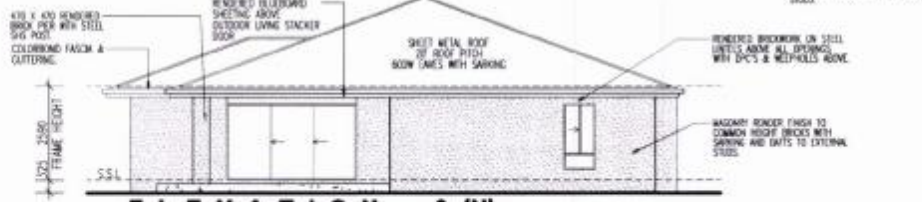
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**ELEVATION 1 (S)**



**ELEVATION 2 (W)**



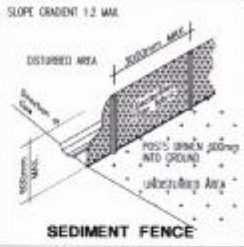
**ELEVATION 3 (N)**



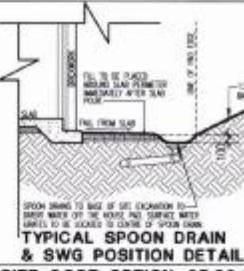
**ELEVATION 4 (E)**



NOTE:- PLACE FILL AROUND THE PERIMETER OF THE CONCRETE SLAB (IMMEDIATELY FOLLOWING SLAB POUR) TO DIVERT WATER AWAY FROM FOUNDATIONS.



- NOTE:- SEDIMENT FENCE TO OUTSIDE OF FILL
- NOTE:- SEDIMENT FENCE
- NOTE:- EARTHEN SPOON DRAIN
- NOTE:- USE TEMPORARY DOWNPIPES.
- NOTE:- TEMPORARY FENCING
- NOTE:- SURFACE WATER GRATES TO BE LOCATED TO CENTRE OF SPOON DRAIN



PROPERTY DESCRIPTION

LOT 6 ON DP1248978  
CURRAJONG  
SUBURB EVANS HEAD NSW  
LOCAL AUTH. RICHMOND VALLEY

AREAS  
LAND 685.8 M<sup>2</sup>  
SITE COVERAGE 38.91%

SITWORKS	LEGEND
CUT:- 0.150	100mm DIA P.V.C. STORM-WATER PIPE
FILL:- 0.100	150mm DIA P.V.C. STORM-WATER PIPE
PAD AHD: 7.800	150mm DIA P.V.C. STORM-WATER PIPE
SLAB AHD: 8.125	250 x 250mm SURFACE WATER GRATE
	CONNECTED TO SEPARATE STORMWATER PIPE.

CRITICAL PAD LEVEL

NO  YES



NOTE: ALL BUILDING WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

SURVEYOR No. - 1805461

**CORAL HOMES**

QBCC 80792/1014053  
OFT 62084C

CLIENTS  
T. & J. KELLY  
LOT 6 CURRAJONG STREET  
EVANS HEAD NSW 2473

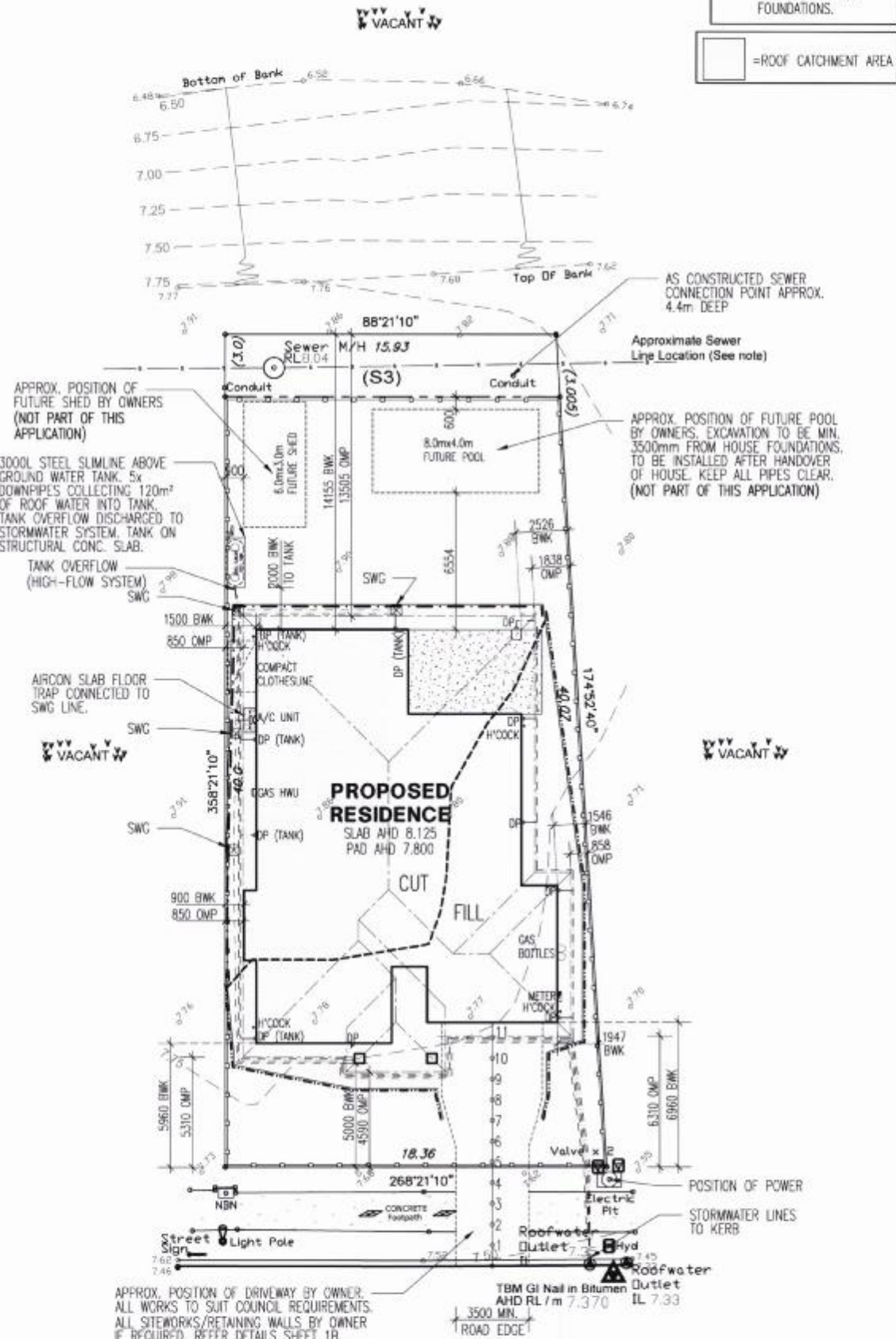
CHECKED NLU TENDER LETTER 08-APR-19

DRAWING SITE PLAN LAYOUT REFERENCE No. J29547

SCALE: 1:200 DATE: 11-01-2019-JFD  
DRAWN: MAX DATE: 11-23-05-19-JHU  
NATIONAL C.P.-05.06.19-MGR

SHEET 1A OF 8

THE CORAL HOMES GROUP ALL RIGHTS RESERVED



**SITE PLAN**

Currajong Street

APPROX. POSITION OF DRIVEWAY BY OWNER. ALL WORKS TO SUIT COUNCIL REQUIREMENTS. ALL SITINGWORKS/RETAINING WALLS BY OWNER IF REQUIRED. REFER DETAILS SHEET 1B.

TBM GI Nail in Bitumen AHD RL/m 7.370  
3500 MIN. ROAD EDGE

POSITION OF POWER  
STORMWATER LINES TO KERB

Roofwater Outlet  
Roofwater Outlet

Valve x P  
Electric Pit  
Hyd

Roofwater Outlet IL 7.33

APPROX. POSITION OF FUTURE SHED BY OWNERS (NOT PART OF THIS APPLICATION)

3000L STEEL SLIMLINE ABOVE GROUND WATER TANK. 5x DOWNPIPES COLLECTING 120m<sup>2</sup> OF ROOF WATER INTO TANK. TANK OVERFLOW DISCHARGED TO STORMWATER SYSTEM. TANK ON STRUCTURAL CONC. SLAB.

TANK OVERFLOW (HIGH-FLOW SYSTEM) SWG

AIRCORN SLAB FLOOR TRAP CONNECTED TO SWG LINE.

APPROX. POSITION OF FUTURE POOL BY OWNERS. EXCAVATION TO BE MIN. 3500mm FROM HOUSE FOUNDATIONS. TO BE INSTALLED AFTER HANDOVER OF HOUSE. KEEP ALL PIPES CLEAR. (NOT PART OF THIS APPLICATION)

AS CONSTRUCTED SEWER CONNECTION POINT APPROX. 4.4m DEEP

Approximate Sewer Line Location (See note)

NOTE:- PLACE FILL AROUND THE PERIMETER OF THE CONCRETE SLAB (IMMEDIATELY FOLLOWING SLAB POUR) TO DIVERT WATER AWAY FROM FOUNDATIONS.

=ROOF CATCHMENT AREA

SLOPE GRADIENT 1:2 MAX

SEDIMENT FENCE

NOTE:- SEDIMENT FENCE TO OUTSIDE OF FILL

NOTE:- SEDIMENT FENCE

NOTE:- EARTHEN SPOON DRAIN

NOTE:- USE TEMPORARY DOWNPIPES.

NOTE:- TEMPORARY FENCING

NOTE:- SURFACE WATER GRATES TO BE LOCATED TO CENTRE OF SPOON DRAIN

TYPICAL SPOON DRAIN & SWG POSITION DETAIL

PROPERTY DESCRIPTION

LOT 6 ON DP1248978  
CURRAJONG  
SUBURB EVANS HEAD NSW  
LOCAL AUTH. RICHMOND VALLEY

AREAS  
LAND 685.8 M<sup>2</sup>  
SITE COVERAGE 38.91%

SITWORKS LEGEND

CUT:- 0.150  
FILL:- 0.100  
PAD AHD: 7.800  
SLAB AHD: 8.125

NOTE: PLATFORM HEIGHT & RETURNING CAN VARY DUE TO SITE CONDITIONS.

CRITICAL PAD LEVEL  
 NO  YES

NORTH

NOTE: ALL BUILDING WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

SURVEYOR No. - 1805461

**CORAL HOMES**

QBCC 80792/1014053  
OFT 62084C

CLIENTS  
T. & J. KELLY  
LOT 6 CURRAJONG STREET  
EVANS HEAD NSW 2473

CHECKED NLU TENDER LETTER 08-APR-19

DRAWING SITE PLAN LAYOUT REFERENCE No. J29547

SCALE: 1:200 DATE: 11-01-2019-JFD  
DRAWN: MAX DATE: 11-23-05-19-JHU  
NATIONAL C.P.-05.06.19-MGR

SHEET 1A OF 8

THE CORAL HOMES GROUP ALL RIGHTS RESERVED

FINAL SIGNED COPY

I/WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT SUPERSEDE PRELIM PLANS & I/WE HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN.

THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.

PROPRIETOR SIGNATURE PROPRRIETOR SIGNATURE

BUILDERS SIGNATURE THESE PLANS REMAIN COPYRIGHT OF THE CORAL HOMES GROUP



**AHD BY GNSS**  
 Australian Height Datum (AHD) derived from field observation using GNSS (Global Navigation Satellite System) equipment which **NOTE** may have limited and varied accuracy and may be unsuitable for some applications. Please contact our office for more information particularly in flood prone areas or areas with height restrictions.

**NORTH POINT WARNING**  
 The north point shown relates to the subject survey plan. The user should ensure this is suitable for their purpose.

**USE OR COPYING OF THIS PLAN**  
 This plan may not be reproduced in whole or part without the inclusion of all notes and alerts.

AHD Origin GNSS  
 Origin Level

**Contour & Feature Survey** C



**LOT 6 on DP1248978**  
 Currajong Street

**Suburb** Evans Head  
**Local Auth** Richmond Valley Council  
 Area 685.8 m<sup>2</sup>

**Services**

Power	Underground
Phone	Underground
Water	Main at Front
Sewerage	Yes
Stormwater	Front
Road	Bitumen
Kerb	Mountable
Footpath	Concrete

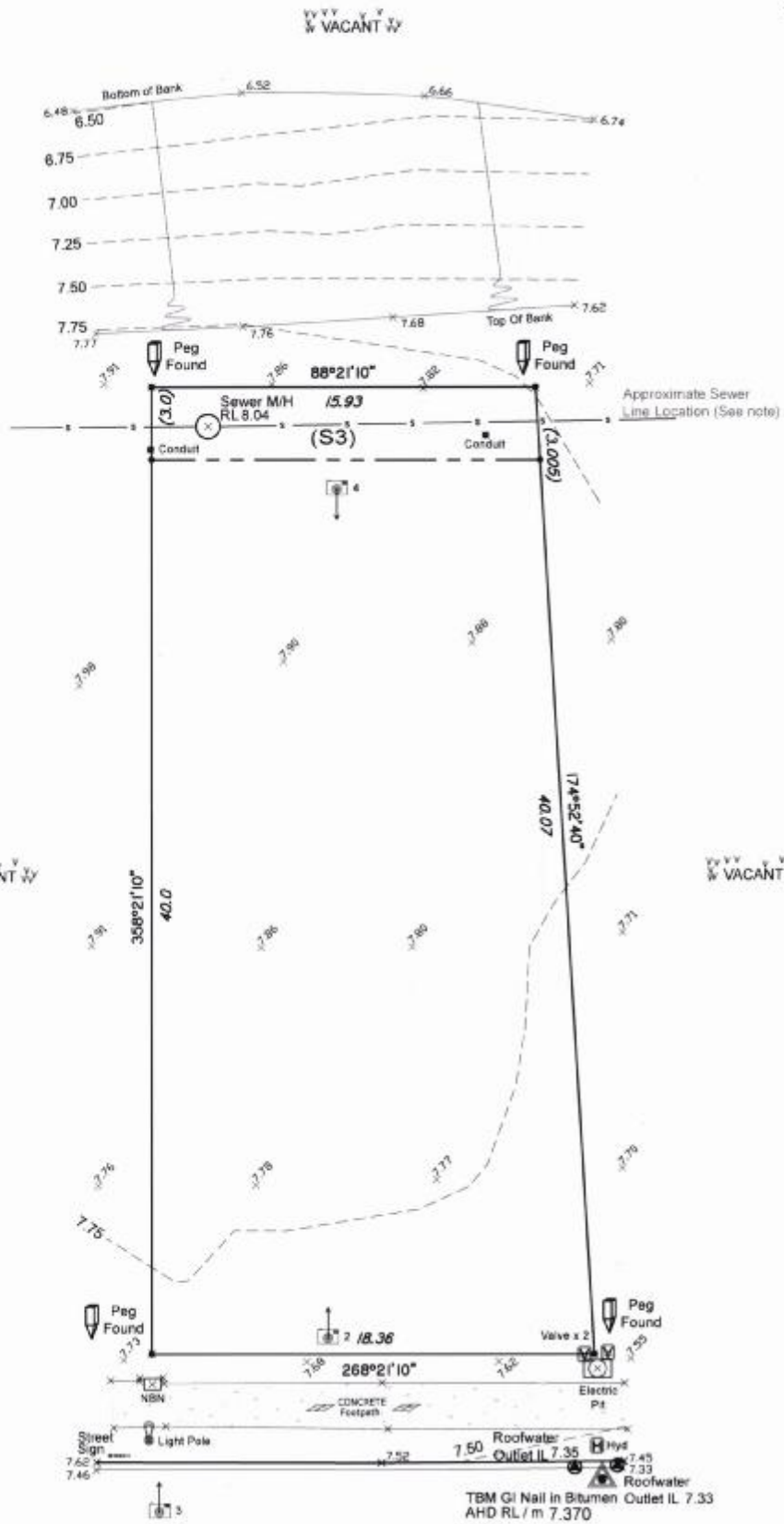
**Client:**  
 CORAL HOMES

**NOTES**  
 This plan has been prepared from field survey and existing records for our client to design new structures on the site and should not be used for any other purpose or by any other person or corporations without written approval from Axis Surveys. Non-visible services have been plotted, if available, from council searches which have limited and varied accuracy. It is the plan user's responsibility to accurately locate and/or expose any non-visible services, and determine whether title encumbrances will prevent or limit development and to check on the Local Authority's definition of Natural Ground Level, prior to construction commencing. (See alert statements on face of plan for more details.)

Issue	Date	Amendment	By
A	27/02/19	Original Issue	GE02

Level Dat. AHD Surveyed CS/BHM  
 Job No. 1805461 Checked  
 Order No. N29547/130 Date 26/02/19

**PAGE 1 OF 1**  
 Axis Surveys Duty Appointed Officer **SCALE 1:200**

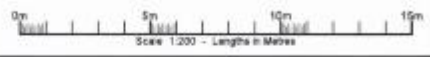


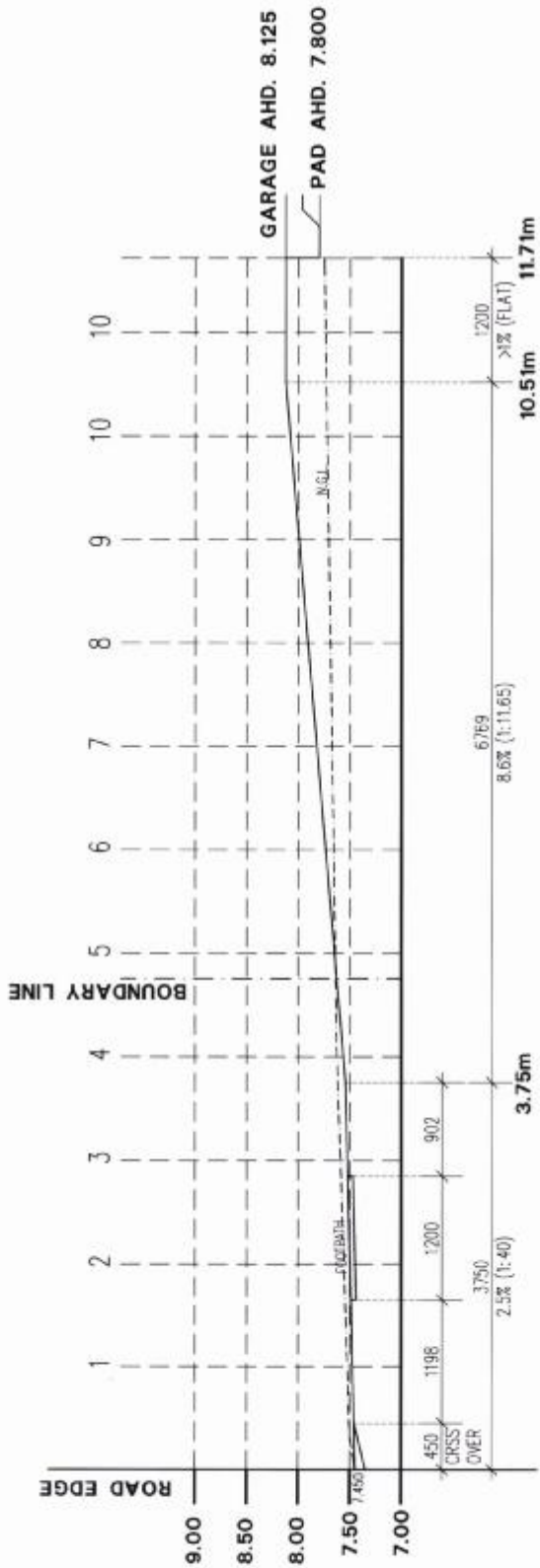
**Currajong Street**

(S3) EASEMENT TO DRAIN SEWAGE 3 WIDE AND VARIABLE WIDTH

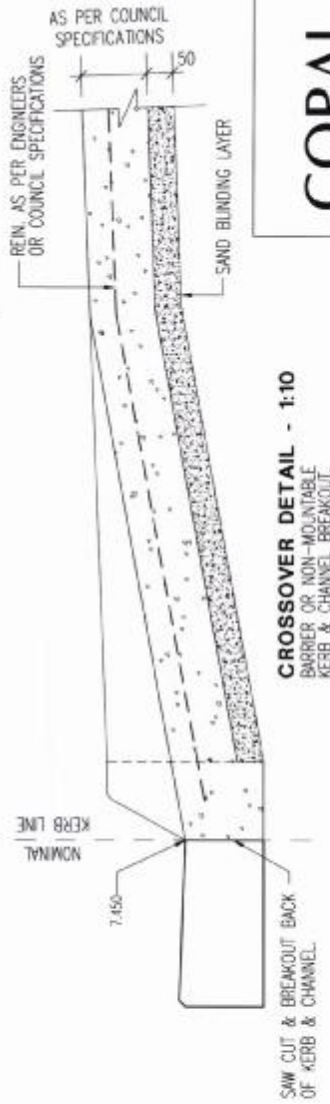
**Form 2 Certificate**  
 I, Shane Neville Von Sarden of Axis Surveys Pty Ltd, a surveyor registered under the Surveying and Spatial Information Act 2002, certify the survey represented in this plan (or sketch) was made in accordance with clause 9 of the Surveying and Spatial Information Regulation 2017 and the survey was completed on 26/02/19 and is not a survey to be lodged with a public authority as referred to in that clause.  
 Signature: *S.V.S.*  
 Dated: 27/02/19  
 Surveyor Identification No: 2140  
 Surveyor registered under the Surveying and Spatial Information Act 2002

- SERVICES ALERT**  
Axis Surveys take no responsibility for the location of any non-visible service.
- GROUND LEVEL ALERT**  
The levels shown were taken on the surveyed date and may not represent the Local Authority's definition of Ground Level. Please contact this office for a quote or further advice.
- IDENTIFICATION SURVEY ALERT**  
This Contour and Feature Survey, as prepared by Axis Surveys, does not guarantee the location of boundary pegs or fences. Please contact this office for a quote or further advice.
- FLOOD SEARCH ALERT**  
Axis Surveys has not completed a flood search on this property. Check council for flood information.
- TITLE SEARCH ALERT**  
Axis Surveys has not carried out a title search for this survey. Check DERM for encumbrances and easements.





**DRIVEAWAY DETAIL - 1:50**  
 NOTE: THE ABOVE IS SIMPLIFIED TRANSITIONS, THERE IS TO BE A CURVATURE ALLOWANCE AT CHANGE OF GRADE.



**CORAL HOMES**

OBCC 60782/1014053  
 OPT 62084C

CLIENTS <b>T. &amp; J. KELLY</b> LOT 6 CURRAWONG STREET EMMS HEAD NSW 2473	TENDER LETTER NLU	DATE 08-APR-19	REFERENCE NO. J29547
DRAWING DRIVEWAY DETAILS	DRAWN MAY	DATE 12-NOV-19	SCALE 1:50
SHEET 1B OF 8	PROJECT CP-16.06.19-MK	DESIGNER CP-16.06.19-MK	SCALE 1:50
THE CORAL HOMES GROUP ALL RIGHTS RESERVED			

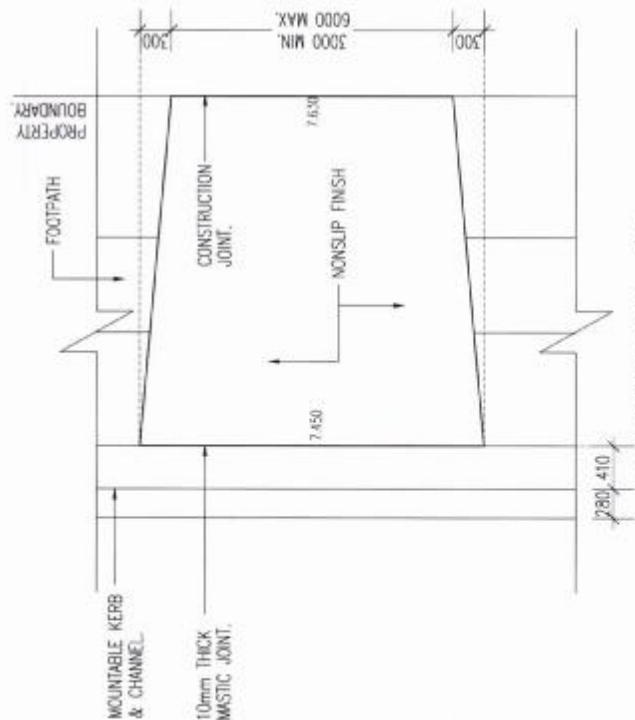
**FINAL SIGNED COPY**  
 I HAVE ACCEPTED THESE PLANS AS THE FINAL PLANS & I AM NOT OBLIGED TO ANY ALTERATIONS OR ADDITIONS ARE SHOWN.  
 THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.

PROPRIETOR SIGNATURE: [Signature]  
 PROPRIETOR SIGNATURE: [Signature]

THESE PLANS REMAIN THE PROPERTY OF CORAL HOMES GROUP

**DRIVEWAY DETAILS**

**DRIVEWAY PLAN - 1:50**









# SEVERE MARINE ENVIRONMENT

**LISBON 27**  
**ELLIOTT PORTICO**

**NOTES**  
ROOF PITCHED AT 20° WITH 600 WIDE EAVES UNLESS NOTED OTHERWISE.  
N.G.L. = NATURAL GROUND LINE  
A.J. = ARTICULATION JOINT  
S.S.L. = STRUCTURAL SURFACE LEVEL  
LYSAGHT TRIMLINE SLOTTED GUTTERING TO SUIT 30m<sup>2</sup> PER DOWNPIPE ROOF AREA

**PLASTIC BRICK TIES TO SUIT BCA REQUIREMENTS FOR HOMES CONSTRUCTED WITHIN SALINE ENVIRONMENT. NOT EXPOSED GALVANIZING TO ANY EXPOSED STEEL JOISTS.**

**IMPORTANT NOTICE:**  
ALL MEASUREMENTS TO FLOOR LEVELS WHICH ARE 20m OR MORE ABOVE THE SURFACE HEIGHT MUST HAVE A BARRIER AT A HEIGHT NO LESS THAN 850mm AND THE OPENING PANEL ABOVE BE RESTRICTED TO A MAXIMUM OF 125mm OR HAVE A BARRIER WHICH CAN RESIST A MINIMUM OF 25kN OF OUTWARD HORIZONTAL ACTION.

**IMPORTANT NOTICE:**  
THERE ARE NO ATYPICAL DESIGN FEATURES IN THIS CONSTRUCTION THAT PRESENT UNUSUAL WORKPLACE, HEALTH & SAFETY ISSUES IN THE CONSTRUCTION, MAINTENANCE, USE OR DEMOLITION OF THIS STRUCTURE.

**FINAL SIGNED COPY**  
I/WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS AND I/SUPERSIDE PRELIMINARY DRAWINGS THAT WILL BE ALTERED ALONG WITH ANY CHANGES AND VARIATIONS.  
THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETORS & CORAL HOMES.

**PREPARED, DRAWN, CHECKED, APPROVED & ISSUED BY:**  
*(Signature)*  
CORAL HOMES  
BUILDERS SIGNATURE

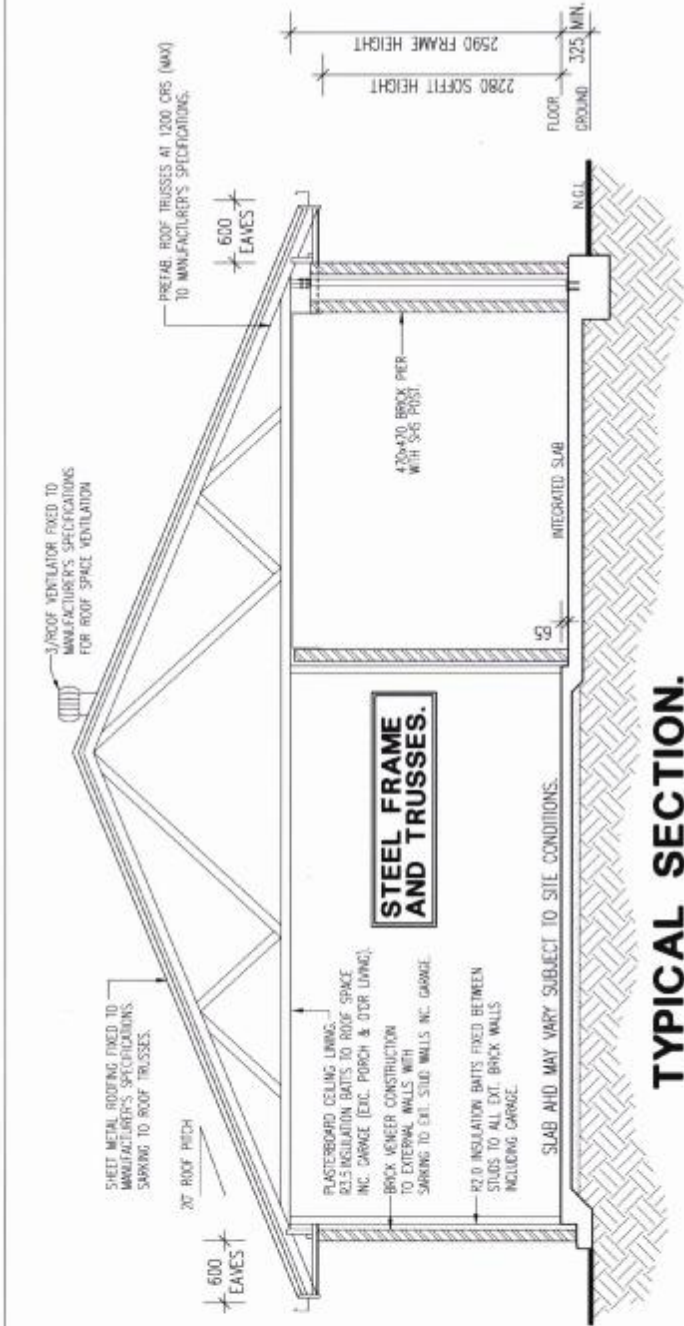
# CORAL HOMES

OBCC 50782/1014003  
OPT 62084C

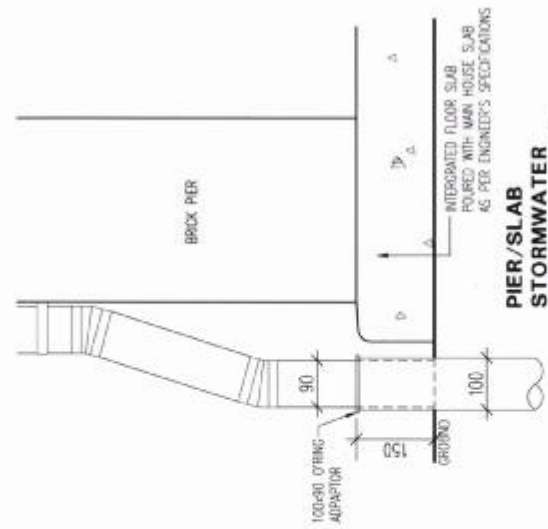
CLIENTS  
**T. & J. KELLY**  
**LOT 6 CURRAWONG STREET**  
**EVANS HEAD NSW 2473**

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SCALE: 1:100  
DATE: 11-01-2019-10  
DRAWN: SAYS  
NATION: CP - 05/06/19-MRF  
SHEET: 3 OF 8  
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MAJOR AND MINOR DIMENSIONS OF COMPONENTS	
Roof Rise (mm)	1110
Roof Run (mm)	4420
Roof Pitch	20%
Total area of gable end wall (m <sup>2</sup> )	
Roof Type	3000
Roof Deck	3000
Trusses	4 3000
Roof Cladding	4 3000
Roof Insulation	4 3000
Roof Ventilation	4 3000
Roof Sarking	4 3000
Roof Guttering	4 3000
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Roof Sealant	4 3000
Roof Adhesive	4 3000
Roof Membrane	4 3000
Roof Underlayment	4 3000
Roof Battens	4 3000
Roof Tiles	4 3000
Roof Ridge Caps	4 3000
Roof Flashings	4 3000
Roof Guttering	4 3000
Roof Fascia	4 3000
Roof Downpipes	4 3000
Roof Brackets	4 3000
Roof Clips	4 3000
Roof Nails	4 3000
Roof Screws	4 3000
Roof Washers	4 3000
Roof Spacers	4 3000
Roof Sealant	4 3000
Roof Adhesive	4 3000
Roof Membrane	4 3000
Roof Underlayment	4 3000
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Roof Fascia	4 3000
Roof Downpipes	4 3000
Roof Brackets	4 3000
Roof Clips	4 3000
Roof Nails	4 3000
Roof Screws	4 3000
Roof Washers	4 3000



**TYPICAL SECTION.**  
REFER TO ENGINEERS REPORT FOR FOOTING & SLAB DETAILS.



**PIER/SLAB STORMWATER LINE DETAIL 1:10**

- GENERAL NOTES**
- BUILDING DESIGN WIND CLASSIFICATION N2
  - LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR
  - ALL STEEL FRAMING TO COMPLY WITH AS 2682-1993, AS 4100-1998, AS 4055-2006 AS 3068.1-2002, AS/NZS 1170.2:2002, AS/NZS 1700.1:2002 & AS/NZS 4600:2005.
  - BUILDING CODE OF AUSTRALIA (BCA) BRACING & TC-00W REQUIREMENTS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
  - CONCRETE SLAB TO COMPLY WITH BCA CLAUSE 3.2.3.1
  - ALL MATERIALS SHALL BE NEW
  - STORMWATER FROM ROOF TO BE DISCHARGED TO STREET KERBS OR ONTO OWN PROPERTY WITHOUT NUISANCE TO NEIGHBOURS.
  - WHERE DISCHARGE IS TO KERB, APPROVED ADAPTOR TO BE USED.
  - TERMIE BARRIER TO SLAB SURGRADE & PERIMETER INSTALLED IN ACCORDANCE WITH AS 3601.1 OR BCA CLAUSE 3.1.3.1 & THE OWNERS OF PROPERTY SHALL BE NOTIFIED OF THEIR OBLIGATIONS.
  - 0.2m POLY (WOLFR) BARRIER ON MIN. 50mm SAND FILL, SLAB MINIMUM 1205 ABOVE GROUND LEVEL
  - BRICK VENER WALLS TO HAVE TIES AT 600x600 CRS & COMPLY WITH AS 3700.
  - PLASTERBOARD GENERALLY TO ALL WALLS (10mm) & CEILING (10mm) UNLESS NOTED OTHERWISE TO MANUFACTURER'S SPECIFICATIONS.
  - WHERE W.C. OR ENSURE DOORS DO NOT OPEN OUTWARDS THEY SHALL BE PROVIDED WITH LEFT-OFF HINGES.
  - SKULSTRAKING & HANDRAILS (WHEN APPLICABLE) TO COMPLY WITH BCA CLAUSE 3.9.2.3
  - STAIRS (WHEN APPLICABLE) TO COMPLY WITH BCA CLAUSE 3.9.1.3 & 3.9.1.4
  - EXHAUST FAN TO W.C. (WHEN APPLICABLE) TO COMPLY WITH AS 1668.2
  - SHEET METAL ROOF (WHEN APPLICABLE) TO COMPLY WITH AS 1562.1
  - WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5 - PROTECTION OF OPENABLE WINDOWS.

**FINAL SIGNED COPY**  
I/WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT SURVEYOR PRELIM. PLANS & I/WE HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN.

THESE PLANS ALSO FORM PART OF OUR CONTRACT WITH THE PROPRIETOR & LOCAL COUNCIL.

**PROPRIETOR/SIGNATURE: PROPRIETOR'S SIGNATURE**  
FACE PLANS FRAME CONTRACTOR OF THE CORAL HOMES GROUP

**BULLOCK'S SIGNATURE**

**CORAL HOMES**

OBCC 50792/2014053  
OFT 62084C

CLIENTS:  
**T. & J. KELLY**  
LOT 6 CURRAJONG STREET  
EVANS HEAD NSW 2473

CHECKED: **NLU** ENGINEER LETTER: **08-APR-19**

DRAWING	SECTION & DETAILS	REFERENCE NO.
SCALE:	AS NOTED I.D. 1:10, O.D. 1:50	J29547
DRAWN:	S.V.V.X.	T.L. 23.05.19 - ARJ
W/CHKD:		C.P. 06.06.19 - MOR
SHEET	5 OF 8	

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# Ci Cartridge Filter

## EFFICIENT, COMPACT AND ENVIRONMENTALLY FRIENDLY

The Insnrg Ci Cartridge filter provides clean and healthy swimming water for you and your family. Precision filter elements capture the debris and organic material in the water to provide a sparkling pool and minimise the food that algae and bacteria grow on. With 4 models, you can select the perfect size to suit your pool environment and budget.

The high quality filter elements in the Ci Cartridge Filter removes finer particles than sand and most other media filters. Cleaning the elements is achieved without backwashing your treated and heated pool water saving on chemicals and energy costs. The filters are economical to install as no backwash line is required and water consumption used in the cleaning process is reduced saving thousands of litres of water each year.

## WHY CHOOSE AN INSNRG Ci CARTRIDGE FILTER?

### CLEVER DESIGN

Easy installation and enhanced water flow results in better filtration and cleaner swimming water

### DURABLE ONE PIECE TANK

The high quality reinforced one piece tank coupled with a sleek one piece design produces a reliable filter that is designed to withstand the harshest conditions.

### LOW MAINTENANCE

A unique inlet weir directs the water flow to maximise the cleaning ability of the filter element, and minimise disturbance of collected debris. This means regular cleaning and maintenance of your filter is significantly reduced, allowing you more time to enjoy your pool.

### EASY TO USE

The large inbuilt handles and high quality locking ring make the filter easy to use and maintain.

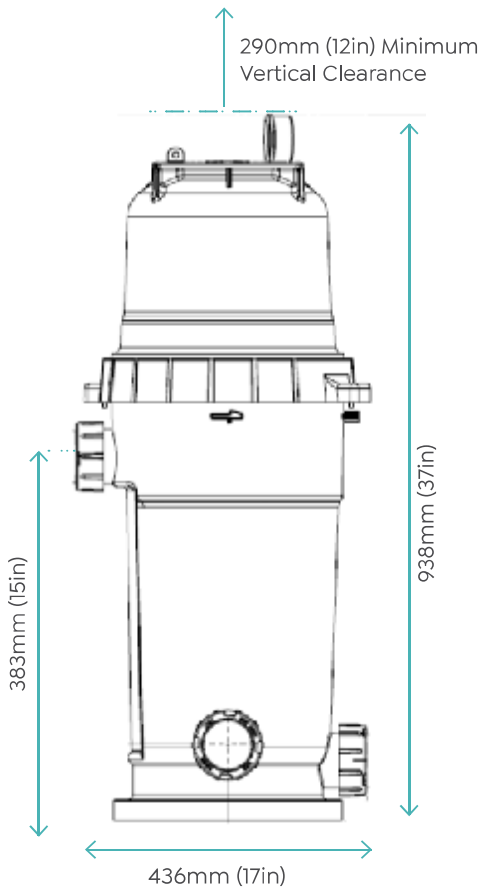
### RANGE OF SIZES

Four (4) specifically designed sizes are available, allowing greater flexibility depending on the volume of water in your pool, environmental conditions and your pool amenity. The larger the filter area supplied, the greater the time between cleans.

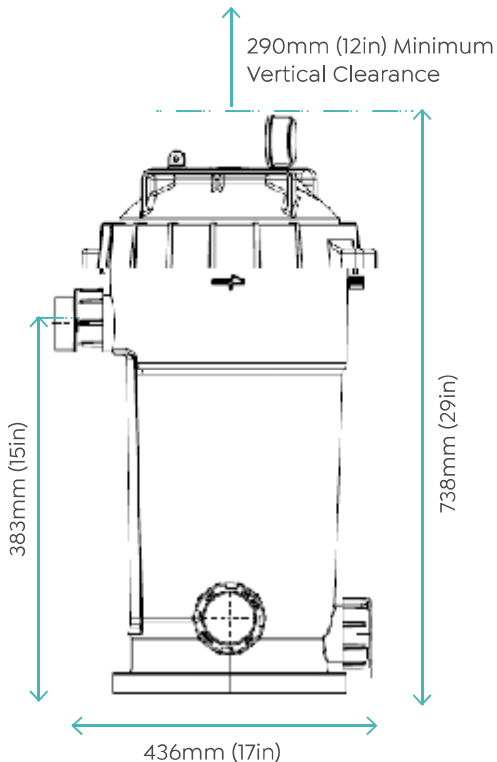




### Ci 200 and Ci 250



### Ci 100 and Ci 150



## DIMENSIONS & SPECS

MODEL	Ci 100	Ci 150	Ci 200	Ci 250
Filtration Area (m <sup>2</sup> )	9.3	13.9	18.6	23.2
Filtration Area (ft <sup>2</sup> )	100	150	200	250
Max Flow Rate (lpm)	380	500	600	600
Max Flow Rate (gpm)	100	130	158	158
Turnover Capacity 8 Hours (Litres)	182,400	240,000	288,000	288,000
Turnover Capacity 8 Hours (Gallons)	48,000	62,400	76,000	76,000

### RELAX, YOU'RE COVERED (WARRANTY & DEALER SUPPORT)

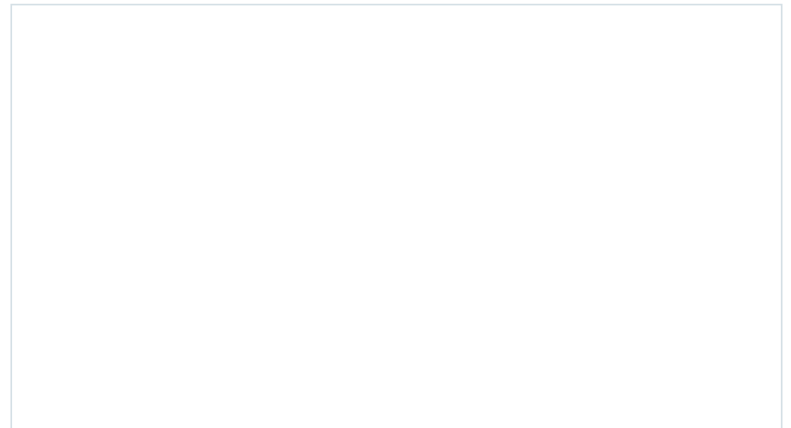
Your Ci Cartridge Filter comes complete with a limited **5 year warranty** on the external tank and **1 year warranty** on the element and pressure gauge. Refer to owners manual or go to [www.insnrg.com](http://www.insnrg.com) for full warranty details.

### WANT MORE TECHNICAL DETAILS?

For the technically minded, go to [www.insnrg.com/products](http://www.insnrg.com/products)



### CONTACT YOUR LOCAL POOL PROFESSIONAL





# Ni Chlorinator

## THE EASIEST WAY TO ENSURE HEALTHY AND SAFE SWIMMING WATER FOR YOUR FAMILY ALL YEAR ROUND

There have been many ways and methods produced and promoted to sanitize your pool water but few are as effective, safe and reliable as a salt or mineral chlorinator. For your pool to be safe to swim in, algae and bacteria needs to be eliminated. The chlorinator cell instantly kills algae and bacteria as the pool water passes through the cell but in addition, it creates a residual sanitiser level which stays in the pool water, killing contaminants as they enter the water in any part of the pool.

Swimming in the ocean is invigorating and refreshing, so no wonder salt chlorinators have become the standard for swimming pool sanitising. Manual dosing of chlorine or other chemicals can be haphazard and unreliable, and other types of sanitisers kill bacteria as the water passes through them but do not leave a residual in the water so that the whole body of water is always healthy and safe.

## WHY CHOOSE INSNRG'S Ni CHLORINATOR?

### **FLEXIBLE AND ADAPTABLE**

By dissolving salt, or minerals such as magnesium or potassium in your pool water at roughly the concentration of the salt in your eyes, Insnrg's Ni Chlorinator produces sufficient sanitiser to keep the largest residential pools clean, healthy and safe. The Ni chlorinator works in conjunction with a wide range of salt and mineral levels to produce the right level of sanitiser for your pool.

The inbuilt time clock combined with the output control allows you to set the operating hours and power of the cell to suit your pool size and the environmental conditions. Use the Ni Controller to set your pump operating hours, with up to 4 x timer periods for each day.

### **DURABLE AND RELIABLE**

Insnrg uses high quality components throughout and the Ni chlorinator has been designed and manufactured to withstand the harshest of outdoor conditions that pool equipment endure. The controller housing is sealed to prevent insect ingress

### **DURABLE HOUSING DESIGN**

Fully sealed unit ideal for outdoor installations to keep out insects and other pests



and built with a large heat sink to reduce the temperature of electronic components.

Covered by an industry leading warranty, you can rest assured that your pool will be ready to swim in when you are.



# MORE FEATURES & BENEFITS

## LOW MAINTENANCE

The Ni chlorinator has an intelligent variable reverse polarity algorithm that ensures debris and calcium that adhere to the inside of the cell are cleaned, almost eliminating the manual cleaning process and ensuring long life.

## UNIQUE CELL DESIGN

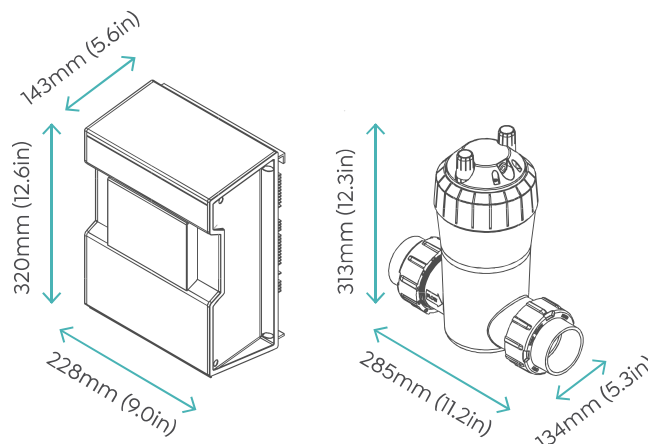
A unique cell tilt sensor ensures correct installation and enhances the safety of your pool. In addition, the cell is designed for a large range of flow rates which is especially desirable with today's modern variable speed pool pumps. The ability to process both low and high water flow rates ensures the water covers all critical cell components improving efficiency and the life of your chlorinator.

## INTEGRATION WITH INSNRG'S Qi VARIABLE SPEED PUMP

The easy to use in built timer enables different time periods and pump speeds when integrated with Insnrg's Qi Variable speed pump. This allows flexible choice of high flow circulation to reach all areas of your pool and then minimize your operating costs by reducing the pump speed for the rest of the day.

## REMOTE CONTROL AT YOUR FINGER TIPS

Combine with Insnrg's inTouch pool automation app so that you can monitor, change outputs and timer periods from your smart phone or tablet.



# DIMENSIONS & SPECS

MODEL	Ni 25		Ni 40	
OUTPUT (g/hr)	25		40	
RECOMMENDED MAXIMUM POOL VOLUME				
	Litres	Gallon	Litres	Gallon
TROPICAL (Ave 20°C/68°F)	50,000	13,200 Gal	80,000	21,100
TEMPERATE (Ave 15°C/60°F)	95,500	25,100 Gal	152,000	40,200
LOW SALT (Between 2-3,000ppm)	50,000	13,200 Gal	80,000	21,100

\*Based on 8 hours per day pump operation, correct water balance

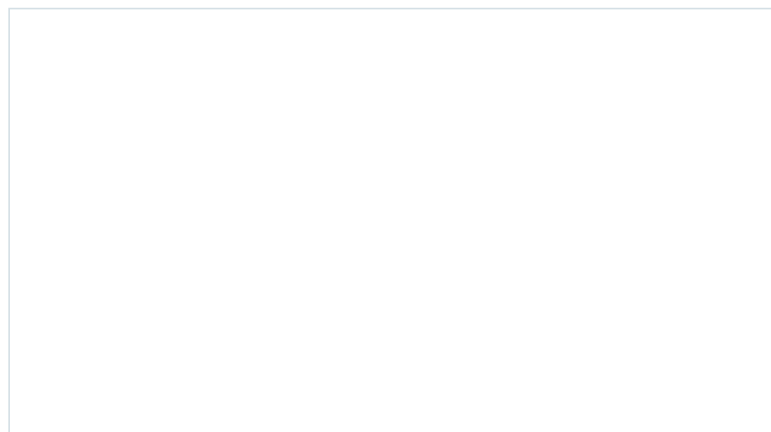
## RELAX, YOU'RE COVERED (WARRANTY & DEALER SUPPORT)

Your Ni Chlorinator comes complete with a **3 year warranty** on the powerpack and **5 year warranty** on the cell. Refer to Installation and Operating Manual or go to [www.insnrg.com](http://www.insnrg.com) for full warranty details.

## WANT MORE TECHNICAL DETAILS?

For the technically minded, go to [www.insnrg.com/products](http://www.insnrg.com/products)

## CONTACT YOUR LOCAL POOL PROFESSIONAL





# Qi Variable Speed Pump

## THE IMPORTANCE OF VARIABLE SPEED PUMPS

The swimming pool pump is the heart of the pool and is required to ensure good water circulation through the filter and chlorinator to provide superior water quality. The pool pump is one of the hardest working products in your home, and deserves careful consideration before you purchase. Insnrg variable speed pumps have been carefully designed to minimize your operating costs, extend the life of the pump and other pool equipment all with low noise levels.

Variable Speed Pumps have become the standard for swimming pool filtration systems. The challenge for pool pumps is to provide the ideal flow during filtration, a higher flow rate for backwashing the filter and a different flow rate again for specialized components such as heating and water features. A fully variable speed pump can adapt easily to provide the perfect flow rate while reducing energy costs by over 80%. Your pool professional will ensure your new pump is installed and set up perfectly to match your pool size, plumbing and pool appliances while achieving the highest possible energy savings. What a great investment!

## WHY CHOOSE AN INSNRG Qi VARIABLE SPEED PUMP?

### FULLY VARIABLE SPEED

The Qi range of pumps have four speed settings that are all fully adjustable, meaning you can set-up the pump to exactly the flow it needs for all your different applications. If you have a suction cleaner, program the speed so it operates perfectly, a sand filter will require a lower speed for normal filtration and a higher speed for backwashing.

### WHISPER QUIET

Operating the Qi pump at the lower speeds not only saves you significant energy and reduces your electricity bills, the slower the pump, the quieter the motor noise. Now you can install your Qi pump and eliminate noise intrusion for your family and neighbours.

### DURABLE

Most pool equipment is installed outdoors without any protection from the weather. Insnrg insist on using the highest quality components and have designed and built the Qi range to withstand the harshest environmental conditions. Stainless Steel hardware, UV resistant components and precision engineering all help to extend the life and improve the durability of your Qi pump.

### VARIABLE SPEED CONTROLLER

Easy to operate controller to optimise your water flow & maximise your energy savings



### ENERGY SAVING

The Qi Variable Speed Pump is possibly one of the few appliances that pays for itself. With energy savings of over 80%, your power costs are cut by between \$750 and \$1000 a year (over a single speed pump) which means your new pump can pay for itself in less than 2 years. Just keep accumulating the savings over the life of your new Qi Pump!



# MORE FEATURES & BENEFITS

## FAST PRIME

A swimming pool and spa pump rotates at high speed which can create high temperature and wear to critical components. Insnrg designers have created a unique internal weir which assists priming and helps eliminate heat adding to the durability of the pump. The unique weir specifically assists priming when your pump is operating at low speed.

## BEST SIZE FOR YOUR POOL

The Qi pump is available in two models that enables you to choose the right size for your pool for the best performance.

## CONNECTED

Your Qi pump is simply connected to Insnrg's inTouch automation system allowing control at your fingertips on any smart device. Add the inTouch Portal to your system and you will be able to connect anywhere in the world using your home network. Imagine the peace of mind when able to adjust your pump and monitor its operation from wherever you are.



\*requires free inTouch app. IOS & Android compatible and Insnrg Internet Portal.

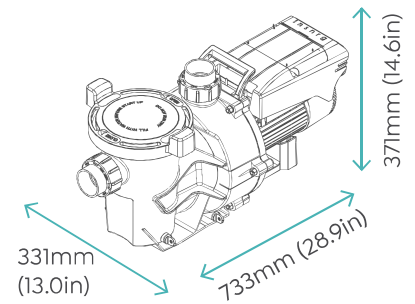
## RELAX, YOU'RE COVERED (WARRANTY & DEALER SUPPORT)

Your Qi Pump comes complete with a **3 year limited warranty**. Refer to owners manual for full warranty details or go to [www.insnrg.com](http://www.insnrg.com).

## WANT MORE TECHNICAL DETAILS?

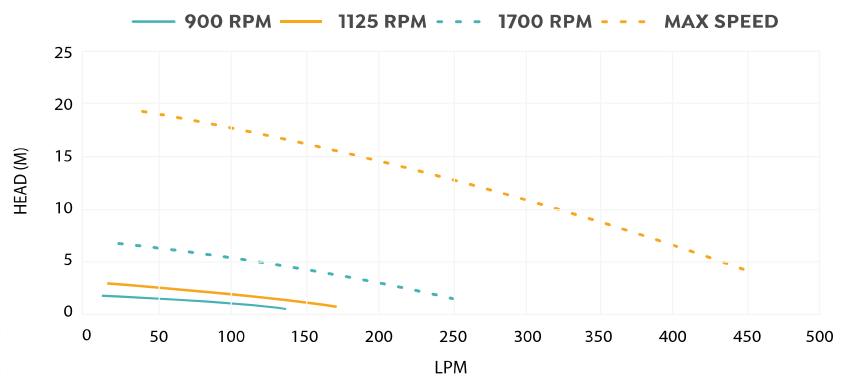
For the technically minded, go to [www.insnrg.com/products](http://www.insnrg.com/products)

## DIMENSIONS & SPECS

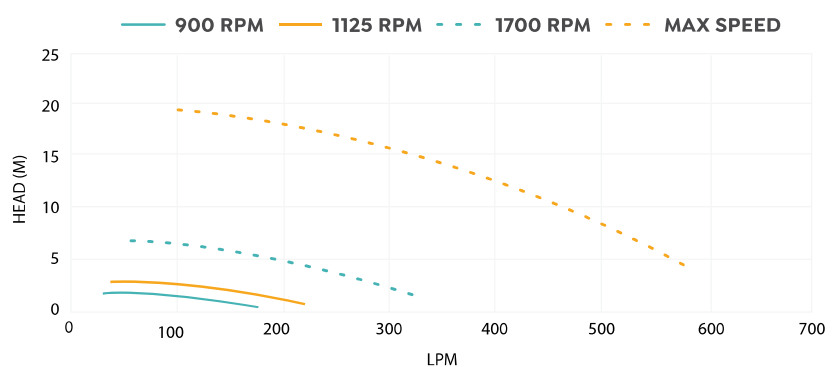


MODEL	Qi 1100				Qi 1800			
SPEED	i	ii	iii	iv	i	ii	iii	iv
VOLTS	230	230	230	230	230	230	230	230
RPM	2850	2300	1700	1150	2850	1700	1125	900
INPUT WATTS (W)	1050	538	227	140	1870	800	350	137
FLOW RATE (lpm)	300	240	180	120	602	360	240	120
FLOW RATE (gpm)	80	64	48	32	160	96	64	32
HEAD (m)	8.0	5.1	2.9	1.3	8.0	5.0	2.7	1.2
CURRENT (Amps)	7.5	3.8	1.6	1.0	8.5	4.0	2.0	0.9

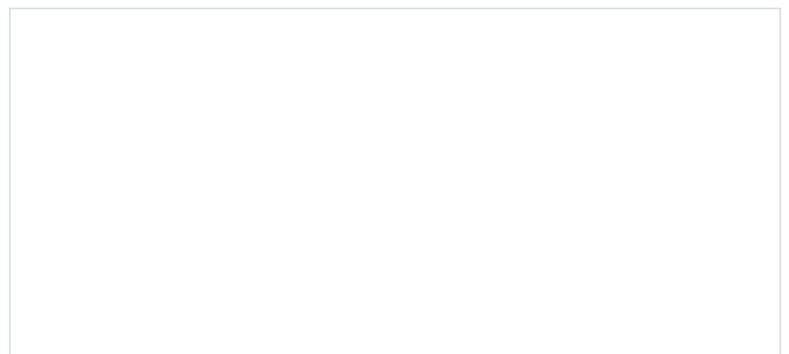
Qi 1100 PUMP - FLOW CHART



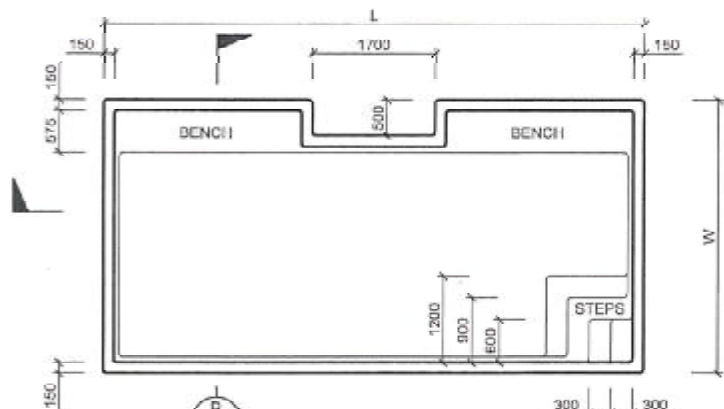
Qi 1800 PUMP - FLOW CHART



## CONTACT YOUR LOCAL POOL PROFESSIONAL



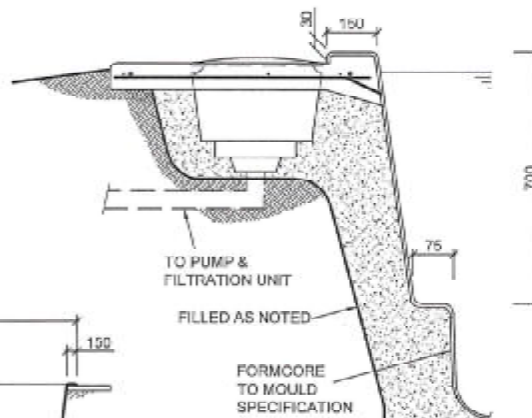




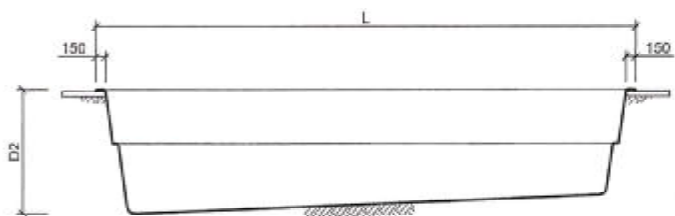
**SERENITY POOL PLAN**  
NTS

**SERENITY RANGE**

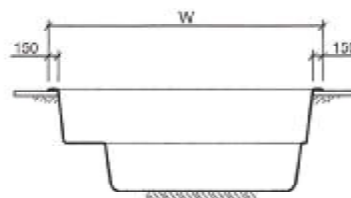
LENGTH (L)	WIDTH (W)	MIN. DEPTH (D1)	MAX. DEPTH (D2)
6.5	3.8	1.30	1.70
7.5	3.8	1.27	1.73
8.5	4.2	1.24	1.76
9.5	4.2	1.20	1.80



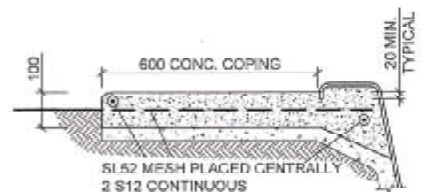
**SKIMMER BOX DETAIL**  
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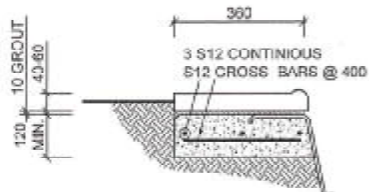
**SECTION A**  
NTS



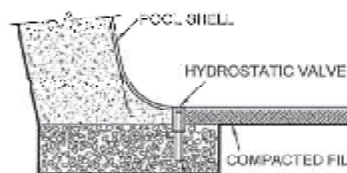
**SECTION B**  
NTS



**CONCRETE COPING DETAIL**  
NTS  
A - S SOIL TYPES ONLY



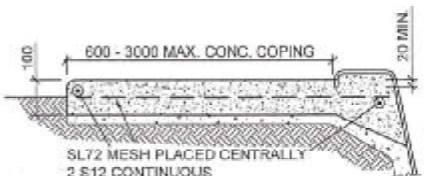
**ALTERNATIVE FOR PAVERS**  
NTS  
A - S SOIL TYPES ONLY



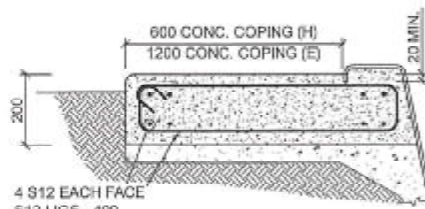
**HYDROSTATIC VALVE DETAIL**  
NTS

THIS POOL IS NOT INTENDED FOR USE ON ABOVE GROUND INSTALLATIONS OR DESIGNED TO BE EMPTIED WITHOUT THE APPROVAL OF MASTER BUILT POOLS

- NOTE:
- A. ALL LAPS ARE TO BE 800mm & TIED.
  - B. FOR SOIL CLASS A - S SITES (A3 2870) POOLS OVER 8400mm LONG ARE TO HAVE 2 / S12 BARS ON OUTSIDE OF COPING 50mm APART
  - C. CONCRETE PAVING BESIDE COPING SHALL NOT BE FIXED TO POOL COPING



**EXTENDED COPING DETAIL**  
NTS  
A - S SOIL TYPES ONLY



**CONCRETE COPING DETAIL**  
NTS  
H & E SOIL TYPES

**NOTES:**  
 REQUIRED ALLOWABLE BEARING PRESSURE TO BE AT LEAST 80 KPa & P.I. LESS THAN 60%. THIS POOL SHELL SHALL NOT BE USED IN CLASS P SOILS.  
 PROVIDE A 100mm MIN. THICK BEDDING LAYER OF NON-COHESIVE PERMEABLE MATERIAL MAX. SIZE 12 WORK TO COMPLY WITH AS1836 SAA PREMOULDED REINFORCED PLASTIC SWIMMING POOLS & AS 1839-1994 SWIMMING POOLS - PREMOULDED FIBRE-REINFORCED PLASTICS - INSTALLATION & THE REQUIREMENTS OF ALL THE RELEVANT STATUTORY AUTHORITIES. THE GRANULAR BASE SHALL BE SCREEDED & COMPACTED TO PROVIDE UNIFORM SUPPORT FOR THE SHELL. PLACE GRAVEL PLUG, LEVEL THE POOL, HANDLING WITH A CENTRE SPREADER. BEDDING TO BE RAMMED BETWEEN SHELL & EXCAVATION IN LAYERS WHEN POOL HAS BEEN FILLED, COMPLETE THE SURROUND.  
 THE FIBREGLASS SHELL SHALL HAVE A MINIMUM THICKNESS OF 5mm WITH 3 LAYERS OF 0.025 LBS/FT<sup>2</sup> ROVINGS. THE FLOOR SHALL HAVE 3 LAYERS OF CHOP STRAND FIBREGLASS. THE RIBS SHALL HAVE 1 LAYER OF 800 gr/m<sup>2</sup> ROVINGS OVER RIBS FORMS & LAMINATED TO POOL WALLS. RESIN TO GLASS RATIO 2.25 : 1 BY WEIGHT. GRIP RAILS & COPING TO BE 10mm MIN. THICKNESS.  
 CONCRETE STRENGTH = N20 AT 80mm SLUMP MAX. 20mm NO FINES AGGREGATE. FILTER TO BE CONNECTED TO SKIMMER BOX & WATER RETURN PORTS WITH 40mm DIA. PVC PRESSURE PIPE & FITTINGS & SHALL COMPLY WITH AS 1926.3 WATER RETICULATION SYSTEMS. FIT UP TO HYDROSTATIC VALVE. RETURN PIPES SHALL BE 50mm DIA.  
 FOR BUILDING APPROVAL PURPOSES THIS DRAWING IS TO BE SIGNED BY A BLUE SIGNATURE BY A REGISTERED ENGINEER FROM SHOWERS ENGINEERING. USE OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE SHALL RENDER THIS DRAWING INVALID.

*(Handwritten signature)*

R.J. SHOWERS RPEQ 1547 MIE Aust 321787 RBP VIC EGM162  
 SHOWERS ENGINEERING PTY LTD (ACTA 075-017 146)

C. EXTENDED COPING	21.09.18	21.09.18	CLIENT
B. SAFETY LEDGE	05.02.18	05.02.18	CLIENT
A. MAIN DRAIN REMOVED	15.03.17	15.03.17	CLIENT
D. FIRST ISSUE	12.10.10	12.10.10	CLIENT
REVISION	DATE	ISSUE	TO

CLIENT  
**MASTER BUILT POOLS**  
 PO BOX 412 ADMIN@MASTERBUILTPOOLS.COM.AU  
 GANDEN NSW 2570 PH (02) 4947 8778

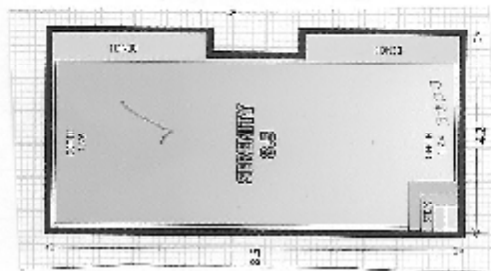
TITLE  
**STRUCTURAL DETAILS  
 SERENITY POOL RANGE**



Design	Inspections	Reports	SUITE 12, BUILDING 3 LEVEL 2, LAKEHOUSE 34-36 CLONERIE DRIVE KURRUMBA, QLD 4225	PO BOX 550 KURRUMBA QLD 4226 AUSTRALIA PHONE: 07 5578 8988
E: showers@showers.com	SCALE AS SHOWN	DRAWN BPC/NL	DESIGNED RJS	DATE OCT '10
			DRAWING NO. 10173 / 4	REV C



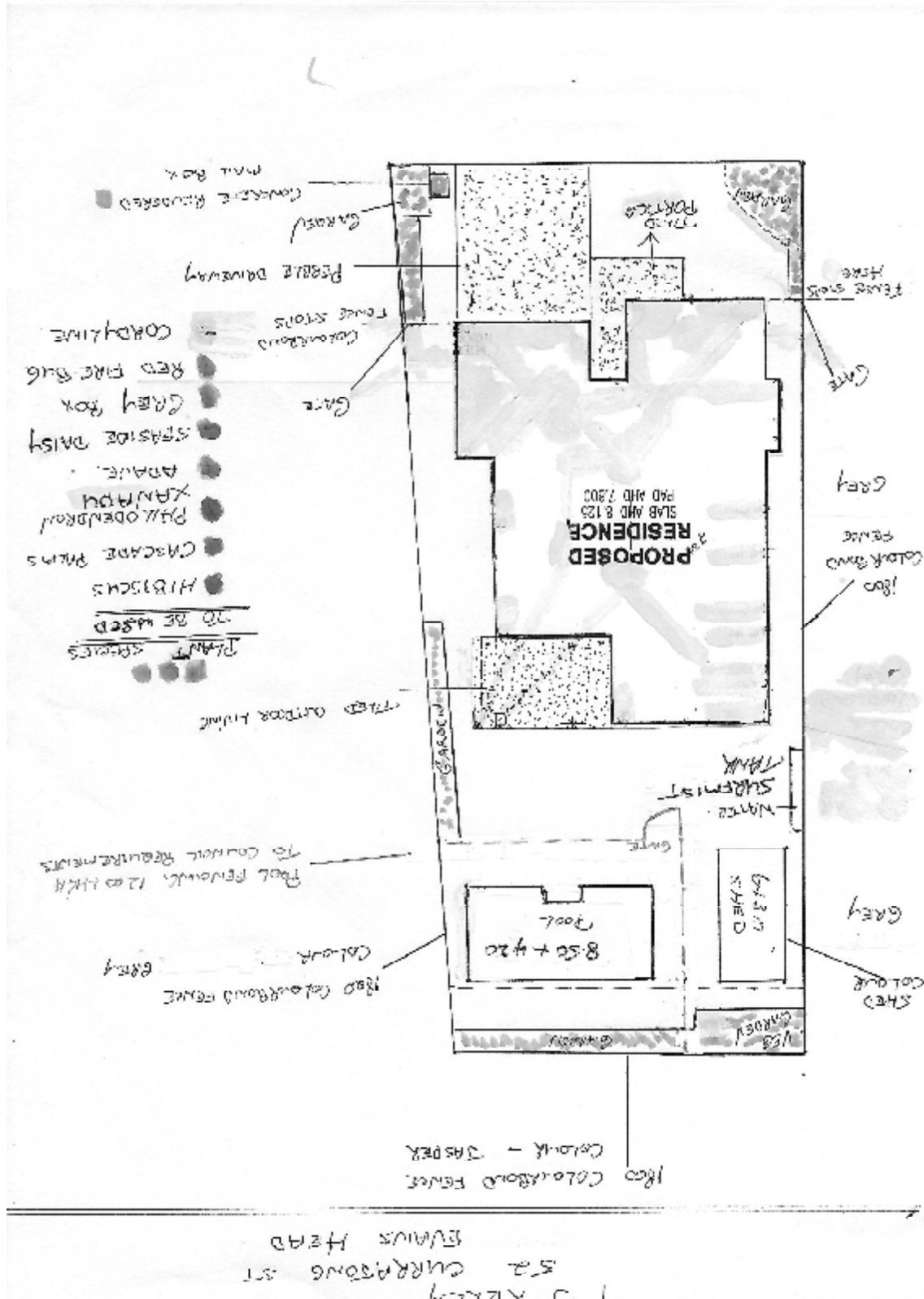
Pool Size



Terry & Jean Kelly  
24 Curatong St  
Evans Head.

10/10/2018









5:46 pm Mon 26 Aug

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31%



Sent from my iPad